

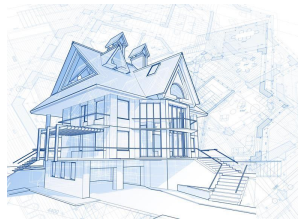
INSPECTION REPORT



For the Property at:

[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]

Prepared by: Robert Byrne, License# 16000062890



Higher Elevation Home & Commercial Inspections LLC
188 Brown Street
Sea Cliff, NY 11579
(516) 509- 9091



[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Thank you for choosing HIGHER ELEVATION LLC to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you so very much for choosing HIGHER ELEVATION LLC to perform your home inspection.
REFERRALS AND "REVIEWS" GREATLY APPRECIATED - WWW.HIGHERELEVATIONLLC.COM

Sincerely,

Robert Byrne
on behalf of
Higher Elevation Home & Commercial Inspections LLC

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Inspections LLC
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SUMMARY

ROOFING

EXTERIOR

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POOL / SPA -

APPENDIX

REFERENCE

Higher Elevation LLC would like to thank you for choosing us to inspect your future home. Please note that every house needs annual maintenance. It is recommended the home owner budget for repair and maintenance of heating / cooling systems, plumbing, electric and site drainage (roof and gutters). The BLUE HYPER LINKS in your report will help with information about your home. Please note any recommended repairs should be done by a licensed and insured professional. Included on the last page of the report is a REFERENCE LIBRARY - PDF to help you understand your new house.

All the best

Rob Byrne - Owner / Operator

[Priority Maintenance Items](#)

Cooling & Heat Pump

RECOMMENDATIONS \ Overview

Condition: • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

****Geothermal HVAC systems are complex, high-value components that include both above-ground mechanical hardware and extensive below-ground heat exchangers. Because this system was operated exclusively by the seller, the following limitations apply: Subsurface Loop Integrity: A standard home inspection cannot determine the condition of the buried loop system, including fluid pressure, potential leaks, or pipe depth. Operational Load Testing: Geothermal systems may appear functional during a short test but can fail to maintain sufficient heating or cooling under an actual 24-hour load. Since the inspector was not permitted to cycle the system independently, its performance under sustained load remains unverified. Specialized Assessment Recommended: Home inspectors generally do not inspect geothermal heat exchangers or internal concealed components. Due to the high cost of repair and the restricted access during this visit, we strongly recommend a comprehensive evaluation by a certified geothermal technician. This specialist should verify entering/leaving water temperatures, flow rates, and current system capacity to ensure it is operating within manufacturer specifications. Maintenance & Permits: We advise the buyer to request a service history and verify that all original installation permits and transferable warranties are in place.

Interior

RECOMMENDATIONS \ General

Condition: • ****NOTE: The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

KEY AREAS OF LIMITED TESTING:

MECHANICAL & HVAC SYSTEMS : Includes the Geothermal HVAC units. The inspector did not personally cycle these systems or verify thermostat calibration and response. Operated by the home owner only.

PLUMBING & APPLIANCES : All fixtures and built-in appliances were operated solely by the owner. Response to typical "hand-feel" defects or intermittent operational issues was not verified by the inspector.

POOL / SPA EQUIPMENT: High-value hydraulic and heating components were owner-operated. Performance under sustained load and underground piping integrity remains unverified.

SUMMARY

Report No. 3081

5 Bouton Point Road, Lloyd Harbor, NY April 11, 2026

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WINDOWS: Access and operational testing were restricted; less than 10% of the home's windows were opened or tested during this visit. Owner demonstrated only - inspector not allowed to operate windows

IMPLICATION & RECOMMENDATION: Because these systems were not independently tested, this report cannot confirm their full functionality, safety, or reliability. We strongly recommend the following before the expiration of your contingency period:

SPECIALIZED EVALUATION: Hire a certified Geothermal Specialist and a Licensed Pool Professional to perform comprehensive performance and pressure testing. **Buyer Walkthrough:** Personally operate every window, appliance, and plumbing fixture to ensure they meet your expectations.

SERVICE RECORDS: Request the last 3 years of maintenance logs and transferable warranty documentation for the Geothermal and Pool systems

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document. This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Observation and Recommendations

RECOMMENDATIONS \ Overview

1. Condition: • Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

SLOPED ROOFING \ Clay/concrete/fiber cement

2. Condition: • [Missing, loose or broken pieces](#)

Implication(s): Chance of water damage to structure, finishes and contents | Damage or physical injury due to falling materials

Location: Right Side

Task: Repair



Missing, loose or broken pieces



Missing, loose or broken pieces

COMMENTS \ Additional

3. Condition: • Recommend annual inspection by a licensed roofing contractor.

Inspection Method and Limitations

General: • Age of roof cannot always be determined due to certain roofing materials and conditions. Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

Inspection limited/prevented by:

- Lack of access (too high/steep)
- Deck covering roof

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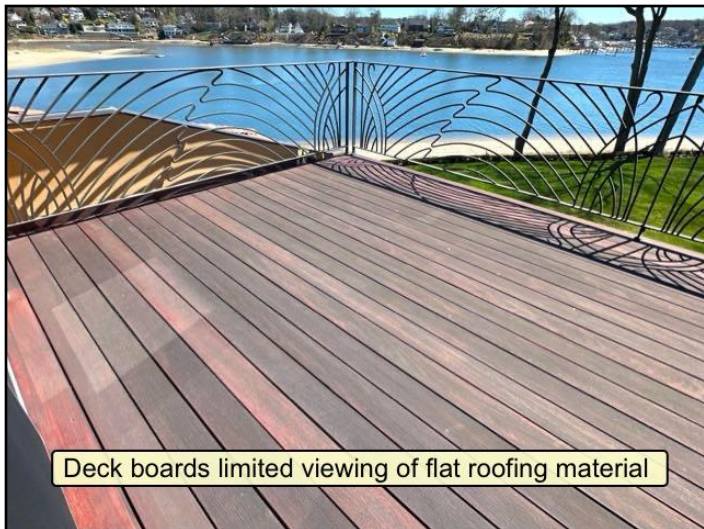
PLUMBING

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Deck covering roof



Deck covering roof

Inspection performed:

- Roof inspected with binoculars from the ground
- Roof inspected - drone



Roof inspected - drone



Roof inspected - drone

General Info and Descriptions

Sloped roofing material:

- [Clay tile](#)

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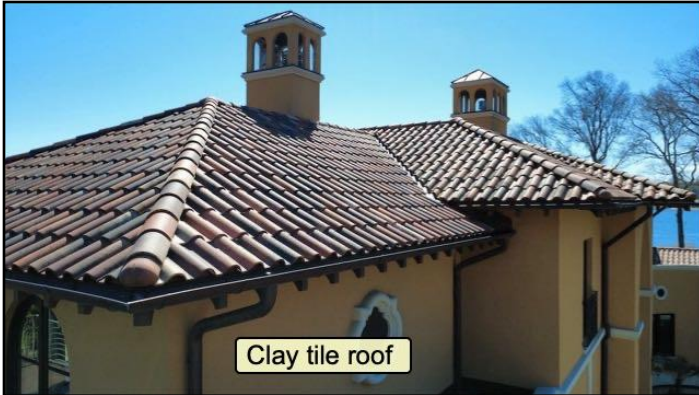
PLUMBING

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Clay tile



Clay tile

Sloped roof flashing material: • Metal

Flat roofing material:

- [Roll roofing](#)



Roll roofing

- [Metal](#)

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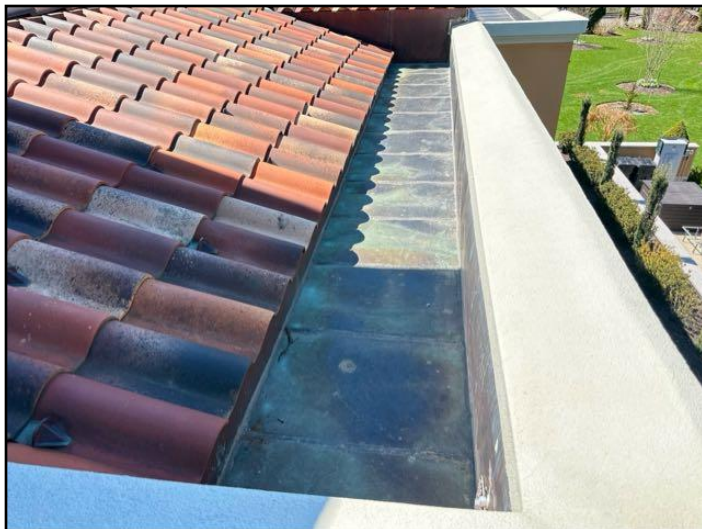
PLUMBING

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Metal



Metal

Typical life expectancy: • ****NOTE: Recommend annual inspection by a licensed roofing contractor.

The roof was inspected and reported on with the above information. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

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Observation and Recommendations

RECOMMENDATIONS | Overview

4. Condition: • Gutters and downspouts help to ensure dry basements and crawlspaces. The less water near the foundation, the lower the risk of water penetration into basement.

5. Condition: • ****NOTE: The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility. Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

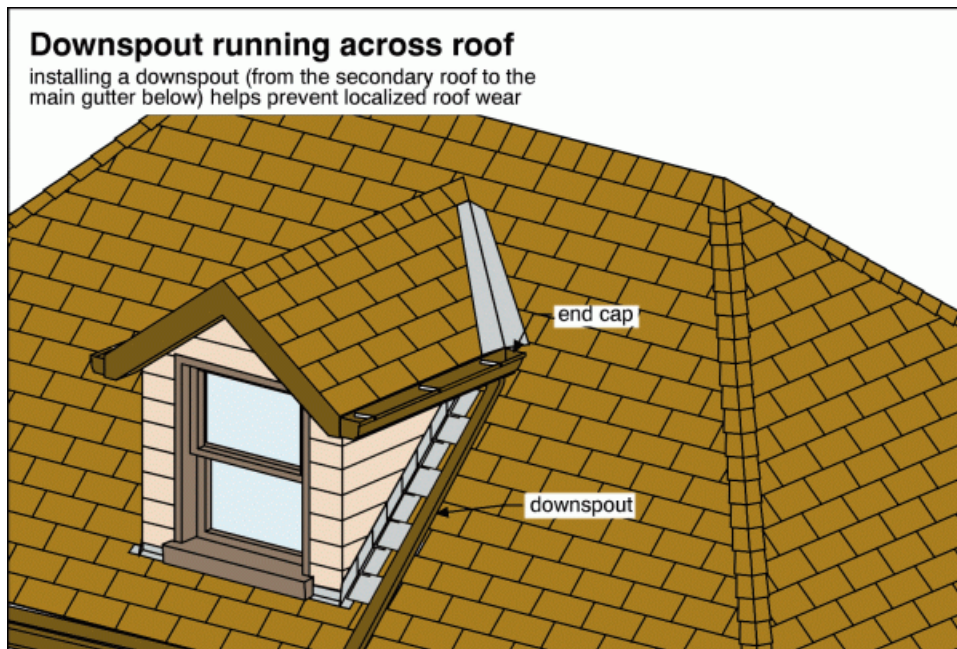
ROOF DRAINAGE | Downspouts

6. Condition: • Discharge onto roofs

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left Side

Task: Improve



Discharge onto roofs



Discharge onto roofs

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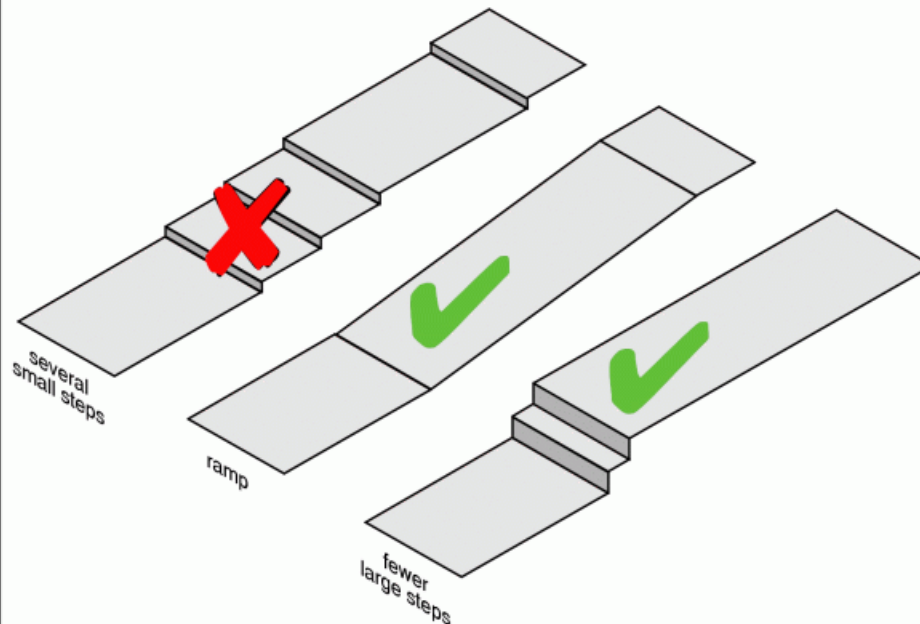
PLUMBING

INTERIOR

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REFERENCE

PORCHES, DECKS, STAIRS, PATIOS \ *Stairs and landings***7. Condition:** • Trip hazard**Implication(s):** Trip or fall hazard**Location:** Rear**Task:** Improve**Walkway steps***Trip hazard**Trip hazard*

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Trip hazard

8. Condition: • Trip hazard

Implication(s): Trip or fall hazard

Location: Left Side & Right side



Trip hazard



Trip hazard

PORCHES, DECKS, STAIRS, PATIOS \ *Handrails and guards*

9. Condition: • [Missing](#)

Implication(s): Fall hazard

Location: Left Side / front

Task: Provide

Time: As soon as practical

SUMMARY

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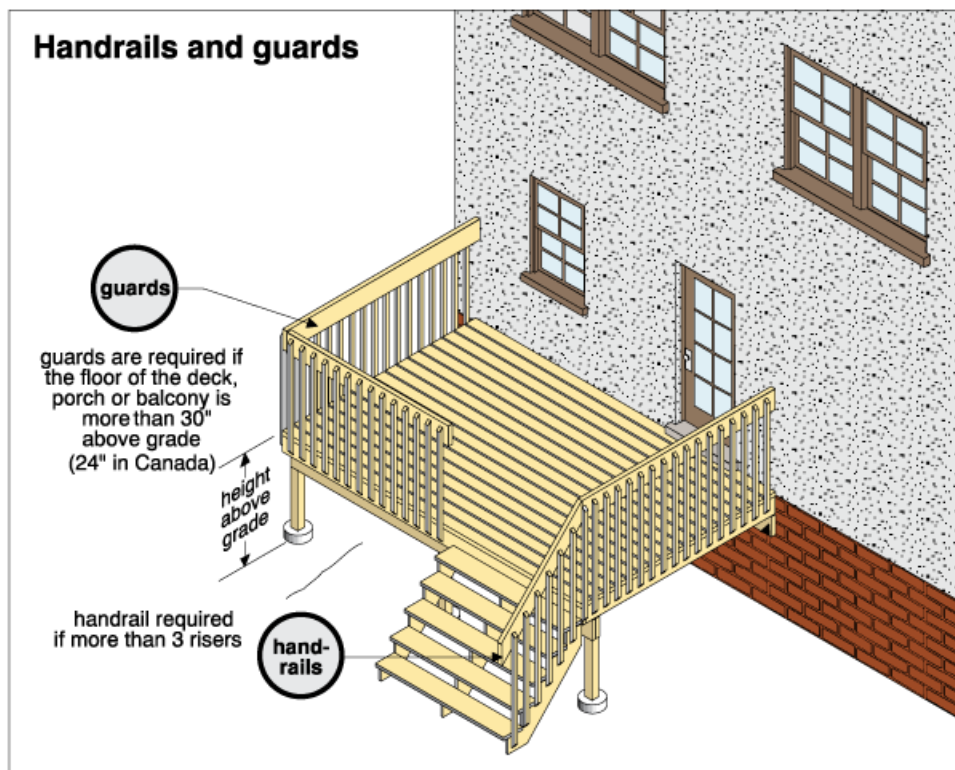
INTERIOR

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Handrails and guards



Missing



Missing

LANDSCAPING \ #General notes

10. Condition: • Keep outside drains clear of debris to prevent water from entering house.

Location: Various

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POOL / SPA -	APPENDIX	REFERENCE							



Keep outside drains clear of debris to...

LANDSCAPING \ #Driveway

11. Condition: • [Cracked or damaged surfaces](#)

Implication(s): Trip or fall hazard

Location: Front

Task: Repair

Time: As soon as practical



Cracked or damaged surfaces



Cracked or damaged surfaces

COMMENTS \ Additional

12. Condition: • See Home Reference Library on last page of report for more information and understanding of your new house.

13. Condition: • Photos are only a representative sample of condition observed. There may be other areas of concern

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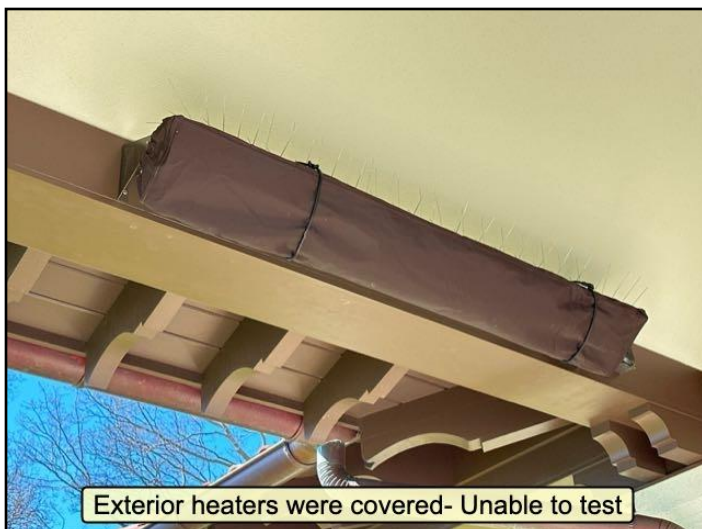
REFERENCE

not shown by photo but stated in the report as a recommendation.

Inspection Method and Limitations

General:

- Exterior heaters



Exterior heaters were covered- Unable to test

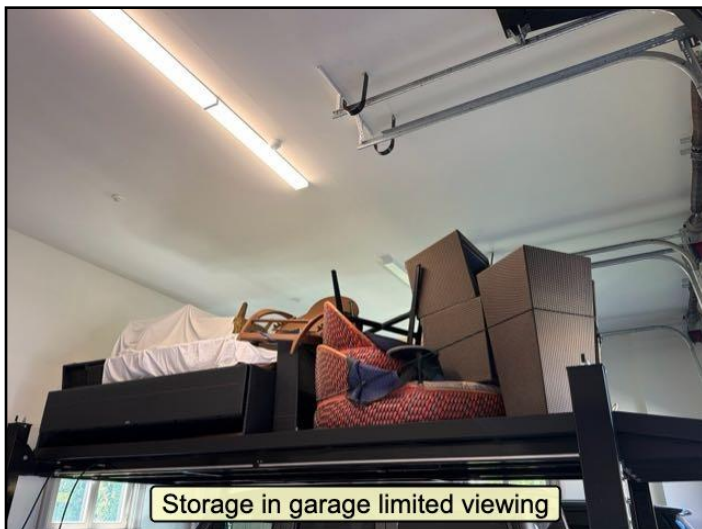
Exterior heaters



Exterior heaters

Inspection limited/prevented by:

- Storage



Storage in garage limited viewing

Storage

- Car in garage
- Finished garage walls and ceiling



Car in garage limited viewing

Car in garage

SUMMARY

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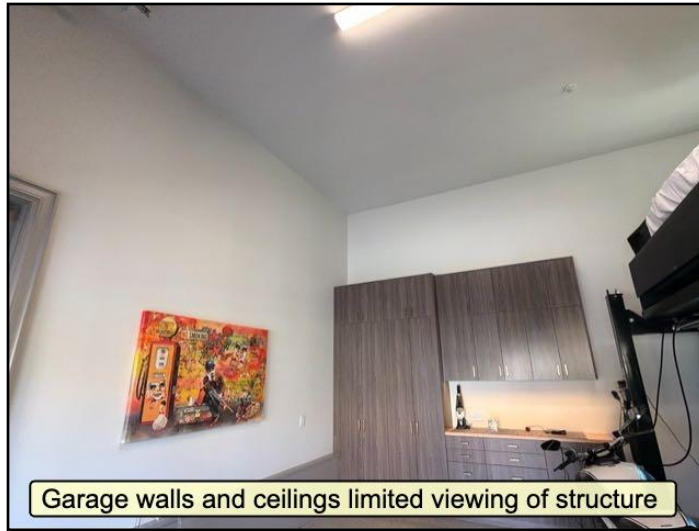
PLUMBING

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REFERENCE



Finished garage walls and ceiling

General Info and Descriptions

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout discharge: • [Below grade](#)

Lot slope: • [Away from building](#) • [Flat](#)

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Inspection Method and Limitations

General: • Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

Inspection limited/prevented by:

- Basement walls and ceilings limited inspection of foundation and framing



Basement walls and ceilings limited...

- Finished living space unable to do a visual inspection.
- Ceiling, wall and floor coverings
- Carpet/furnishings

Attic space:

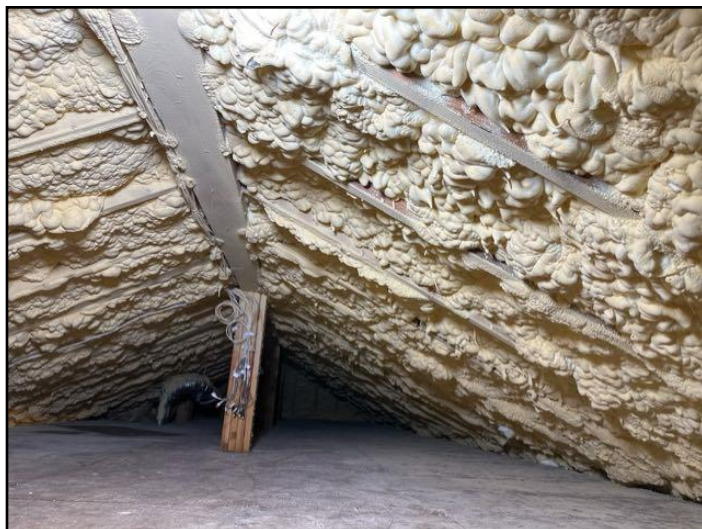
- Entered but access was limited
- Insulation limited viewing of structure



Insulation limited viewing of structure



Basement walls and ceilings limited...



Insulation limited viewing of structure

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Not included as part of inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components

General Info and Descriptions

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • Not visible

Exterior wall construction: • Not visible

Roof and ceiling framing: • Ceiling Joists • Rafters • Not visible

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Observation and Recommendations

COMMENTS \ Additional

14. Condition: • See Home Reference Book located on last page of report for additional information and understanding of the systems in your home.

General Info and Descriptions

General: • More than 25% of all Smoke and Carbon Monoxide detectors do not operate properly. Recommend any Smoke and Carbon Monoxide detectors that are over 10 years old or have damaged test buttons be replaced immediately.

Service entrance cable and location:

- [Underground copper](#)



Underground copper

Service size:

- (3) - 200 Amp panels

SUMMARY

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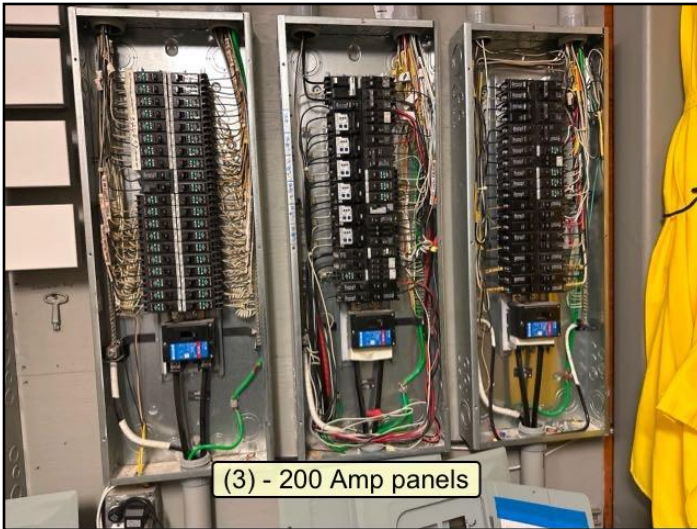
PLUMBING

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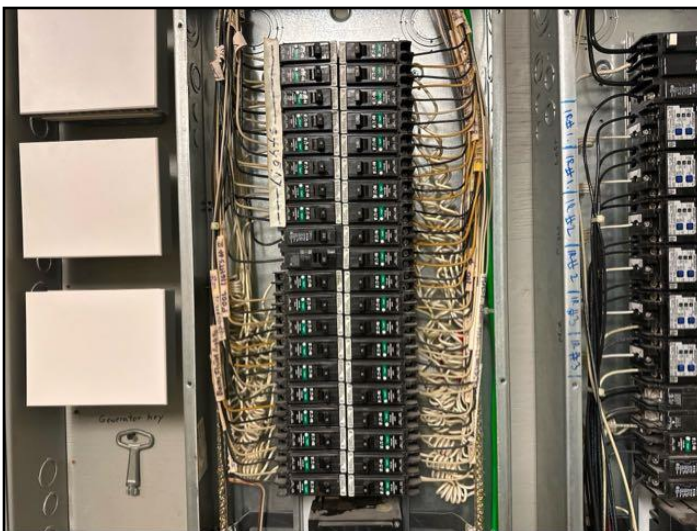
REFERENCE



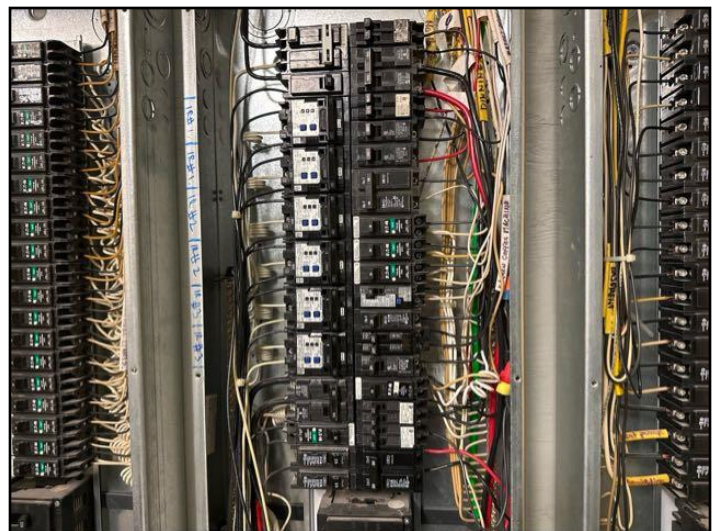
200 Amps (240 Volts)



200 Amps (240 Volts)



200 Amps (240 Volts)



200 Amps (240 Volts)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type: • [Copper - water pipe](#)

Distribution panel type and location: • [Breakers - basement](#)

Distribution panel rating: • [200 Amps](#)

Sub panel - type and location:

• [Breakers - basement](#)

125 amp Sub panel for exterior snow melt- Decks, stairs and foyer



125 amp Sub panel for exterior snow melt

Breakers - basement



Decks, stairs and foyer

Breakers - basement

Auxiliary and other:

- Generator
- Kohler generator is 11 years old- Service annually

Standby generator (Kohler 48RCL, ~2015) is installed to provide backup power. Unit appeared intact at time of inspection; Generators require regular servicing and were not load-tested. Recommend verifying recent maintenance and having the system serviced and tested by a qualified technician prior to closing.



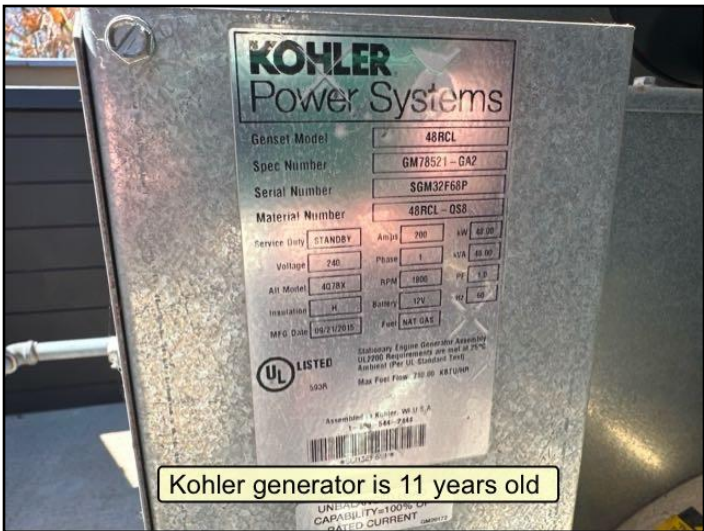
Recommend servicing generator annually

Generator

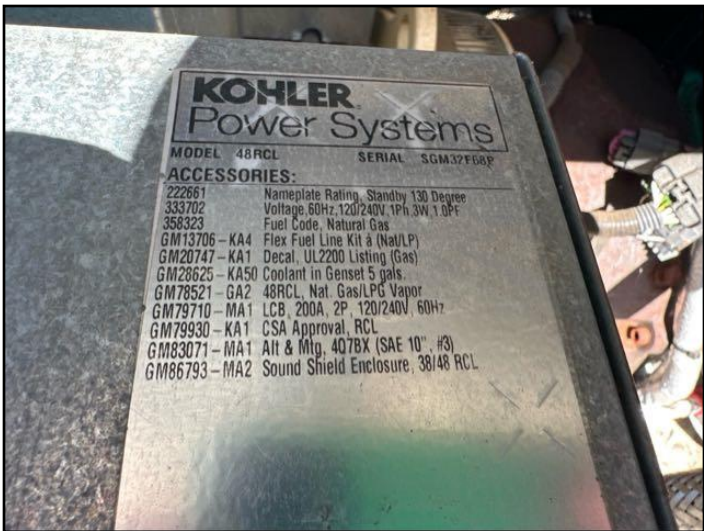


Test cycle occurs on Saturday 12 noon

Generator



Generator



Generator

Type and number of outlets (receptacles): • Ground Fault outlets (GFCI) and/or breakers are required for safety, in all interior and exterior areas, where water will be in contact with an electrical power source. Ground fault circuit interrupter (GFCI) devices should be tested periodically to ensure they remain in proper working condition.

Smoke alarms (detectors): • Recommend replacing prior to moving in

Carbon monoxide (CO) alarms (detectors): • Recommend replacing prior to moving in

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Observation and Recommendations

RECOMMENDATIONS | General

15. Condition: • Recommend an annual service contract with a licensed heating contractor.

Inspection Method and Limitations

Not included as part of a building inspection: • Interiors of vent systems, flues, and chimneys

General Info and Descriptions

General:

- General view of heating system



Heating system was functioning as intended

General view of heating system



General view of heating system



General view of heating system



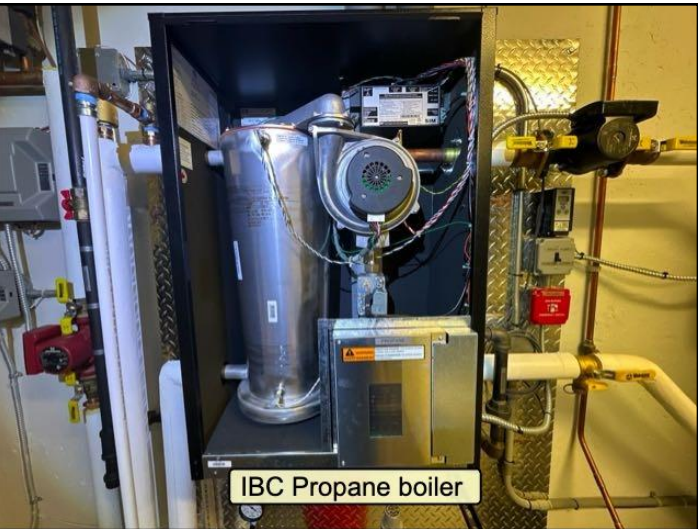
General view of heating system

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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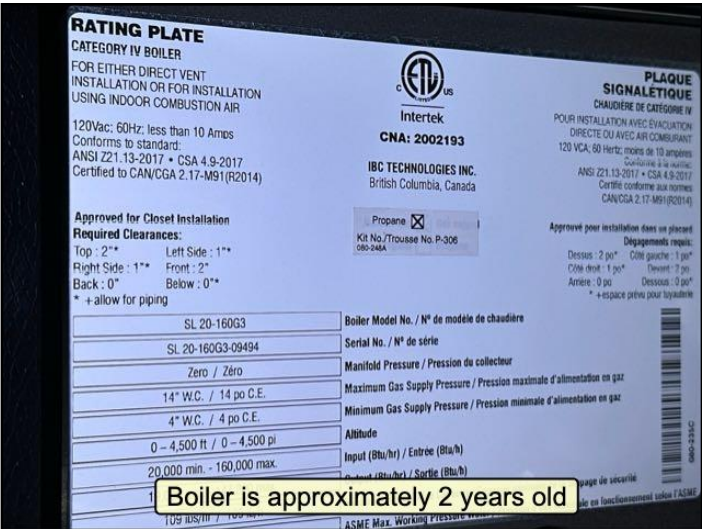
• ****NOTE: The heating and cooling system of this home was inspected and reported on with the information below. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Heating system type:

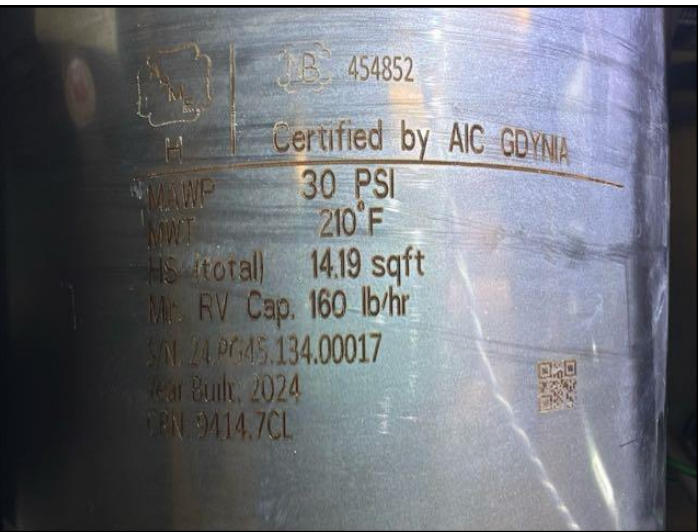
- Boiler



Integrated (Combination) system



Integrated (Combination) system



Integrated (Combination) system



Integrated (Combination) system

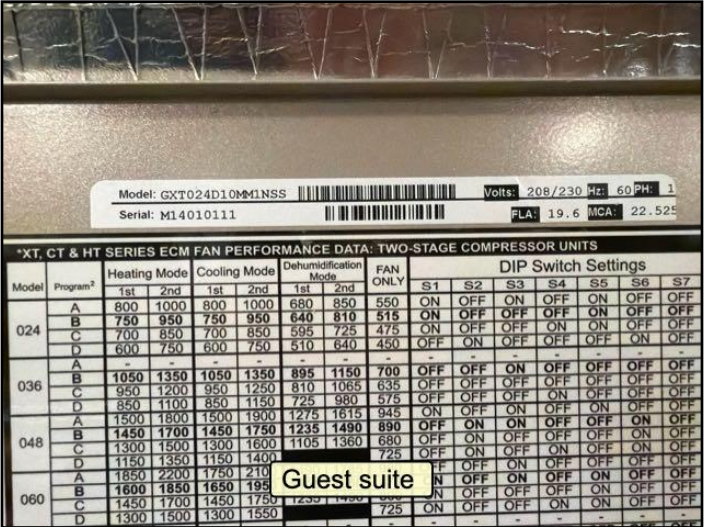
- SUMMARY
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Fuel/energy source:

- Geothermal



Geothermal



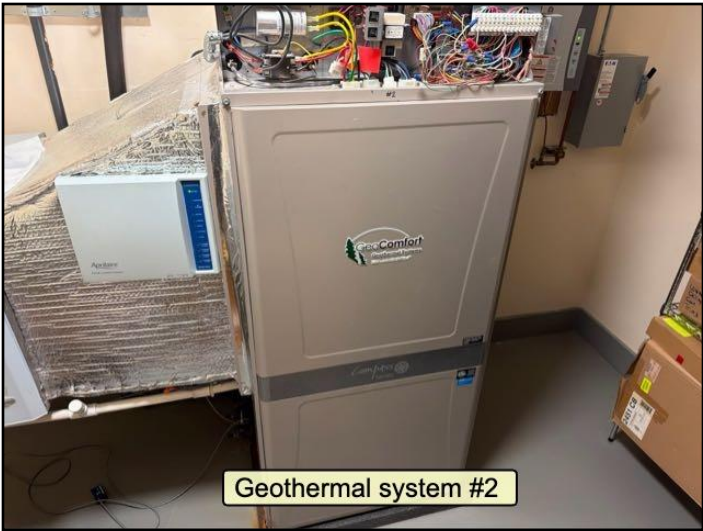
Geothermal



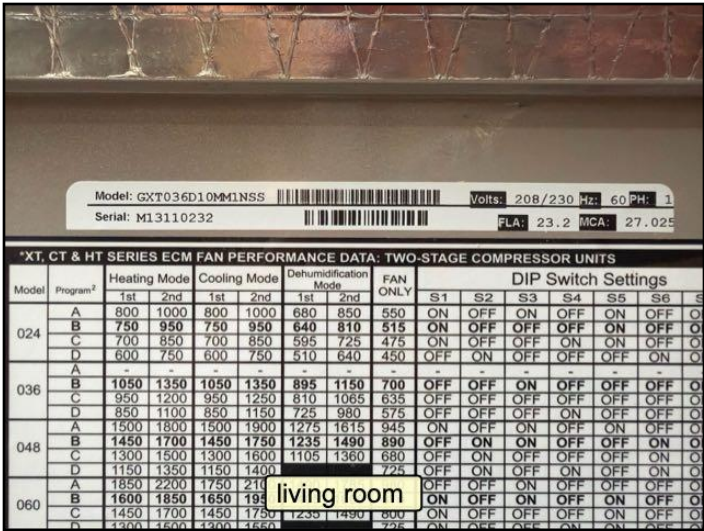
Geothermal



Geothermal



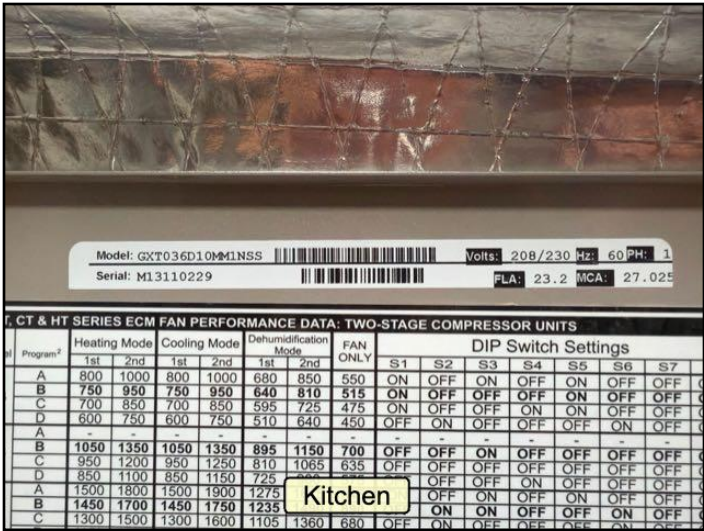
Geothermal



Geothermal



Geothermal



Geothermal



Geothermal



Geothermal

Heat distribution:
• [Hot water radiant piping](#)



Hot water radiant piping



Hot water radiant piping

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Hot water radiant piping



Hot water radiant piping

Fireplace/stove:

- [Gas fireplace](#)



Gas fireplace



Gas fireplace

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Observation and Recommendations

RECOMMENDATIONS \ Overview

16. Condition: • An annual maintenance program is recommended for heating and cooling systems to optimize safety, efficiency, comfort and durability.

***Geothermal HVAC systems are complex, high-value components that include both above-ground mechanical hardware and extensive below-ground heat exchangers. Because this system was operated exclusively by the seller, the following limitations apply: Subsurface Loop Integrity: A standard home inspection cannot determine the condition of the buried loop system, including fluid pressure, potential leaks, or pipe depth. Operational Load Testing: Geothermal systems may appear functional during a short test but can fail to maintain sufficient heating or cooling under an actual 24-hour load. Since the inspector was not permitted to cycle the system independently, its performance under sustained load remains unverified. Specialized Assessment Recommended: Home inspectors generally do not inspect geothermal heat exchangers or internal concealed components. Due to the high cost of repair and the restricted access during this visit, we strongly recommend a comprehensive evaluation by a certified geothermal technician. This specialist should verify entering/leaving water temperatures, flow rates, and current system capacity to ensure it is operating within manufacturer specifications. Maintenance & Permits: We advise the buyer to request a service history and verify that all original installation permits and transferable warranties are in place.



AIR CONDITIONING \ Ducts, registers and grilles

17. Condition: • Ductwork insulation loose or missing

Location: Attic

Task: Repair

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
POOL / SPA -	APPENDIX	REFERENCE							



Ductwork insulation was loose in the attic

Ductwork insulation loose or missing

Inspection Method and Limitations

Inspection limited/prevented by:

- No access to Air Handler



Attic air handler was inaccessible

No access to Air Handler



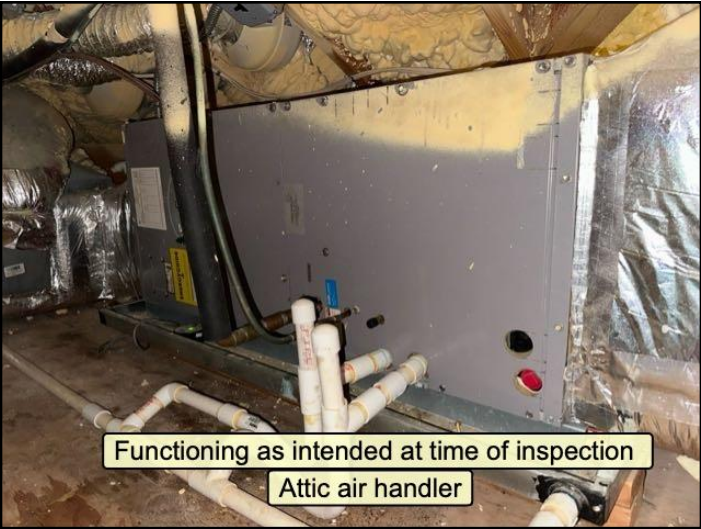
Have unit serviced annually by an HVAC technician

No access to Air Handler

General Info and Descriptions

General:

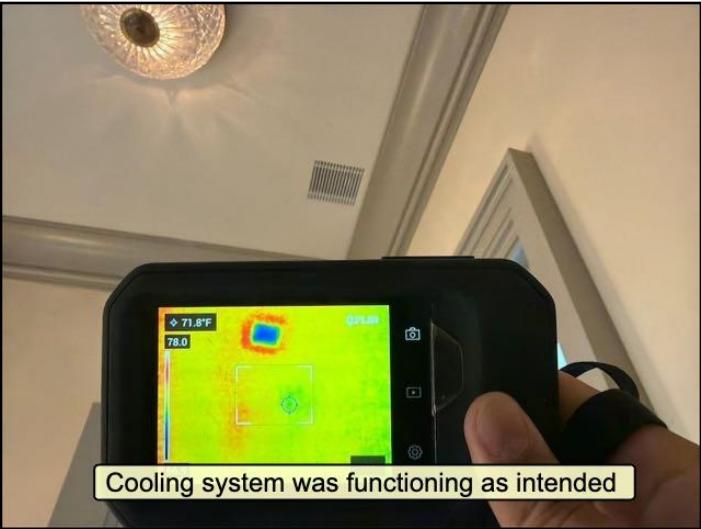
- General view of cooling system



Functioning as intended at time of inspection
Attic air handler

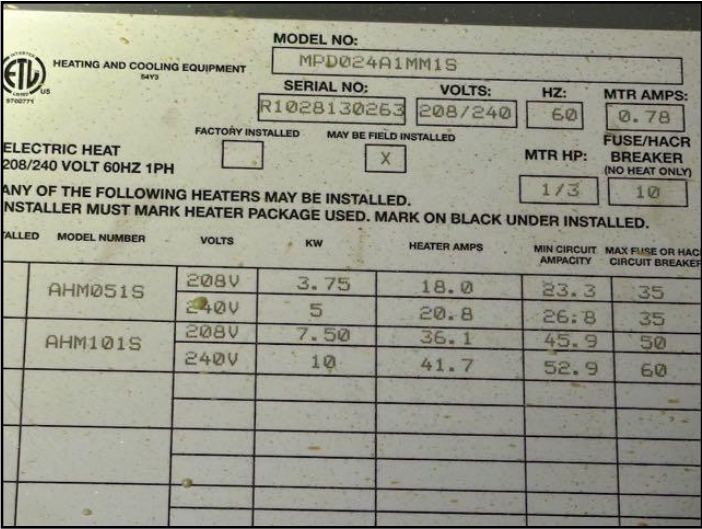
General view of cooling system

- General view of cooling system



Cooling system was functioning as intended

General view of cooling system



General view of cooling system



General view of cooling system

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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General view of cooling system



General view of cooling system

Air conditioning type:

- Geo thermal

Geothermal systems are high-performance HVAC units with life expectancies exceeding 20 years for the indoor unit and 50+ years for the loop field. Their complexity requires specialized technicians. The installer should have the original maps and survey of the buried loop field.

- Geo thermal

Geothermal Heat Pump - Pros & Cons

Advantages

- Very high efficiency (uses stable ground temps)
- Lower operating costs over time
- No outdoor condenser less weather damage & longer lifespan
- Quiet operation (no exterior noise)
- Long life expectancy
- Ground loops: 40-50+ years
- Indoor unit: ~20-25 years
- Eligible for incentives (federal/state rebates often available)

Disadvantages

- High upfront cost (installation + drilling/trenching)
- Complex installation (requires land or drilling access)
- Repairs can be specialized (fewer contractors familiar)
- Loop issues are expensive (if underground failure occurs)

Traditional HVAC (AC / Heat Pump) - Pros & Cons

Advantages

- Lower upfront cost

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- Widely available (easy to service/replace)
- Simpler installation
- Faster repairs (parts + techs readily available)
- Works in almost all property types

Disadvantages

- Lower efficiency (affected by outdoor temps)
- Higher energy bills over time
- Outdoor unit exposed to weather (shorter lifespan ~12-15 yrs)
- Noise from condenser
- Performance drops in:
 - Extreme cold (heat pumps)
 - Extreme heat (AC systems working harder)

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Inspection Method and Limitations

Attic inspection performed:

- By entering attic, but access was limited

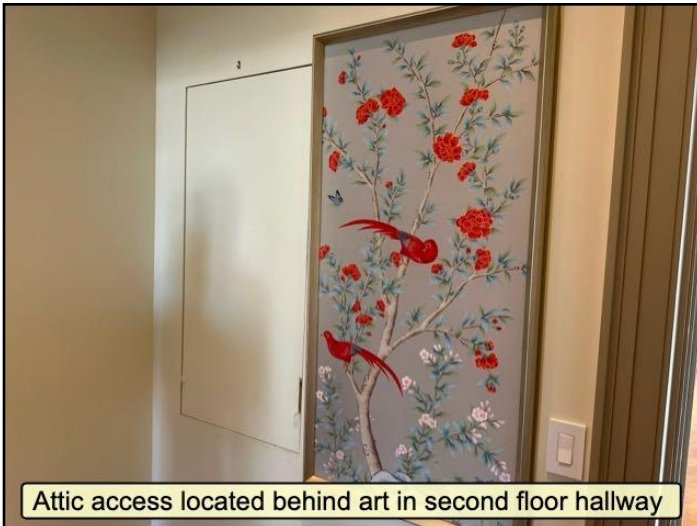


By entering attic, but access was limited

General Info and Descriptions

General:

- General view of attic



General view of attic



General view of attic

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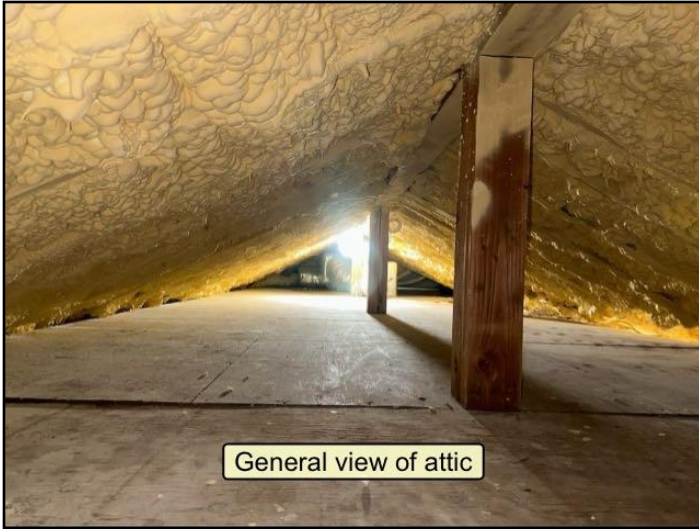
PLUMBING

INTERIOR

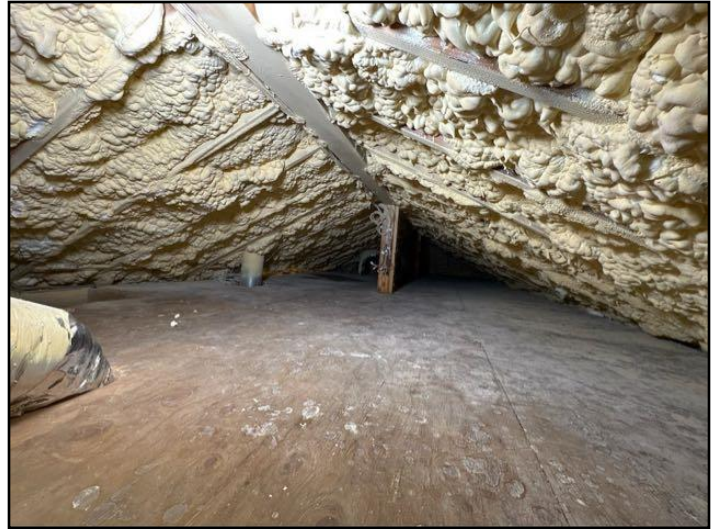
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General view of attic



General view of attic

• ****NOTE: Venting of exhaust fans or clothes dryer cannot be fully inspected. Bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report

Attic/roof insulation material: • Sprayed foam

Wall insulation material: • Not determined • Not visible

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Observation and Recommendations

WATER HEATER \ TPR Valve

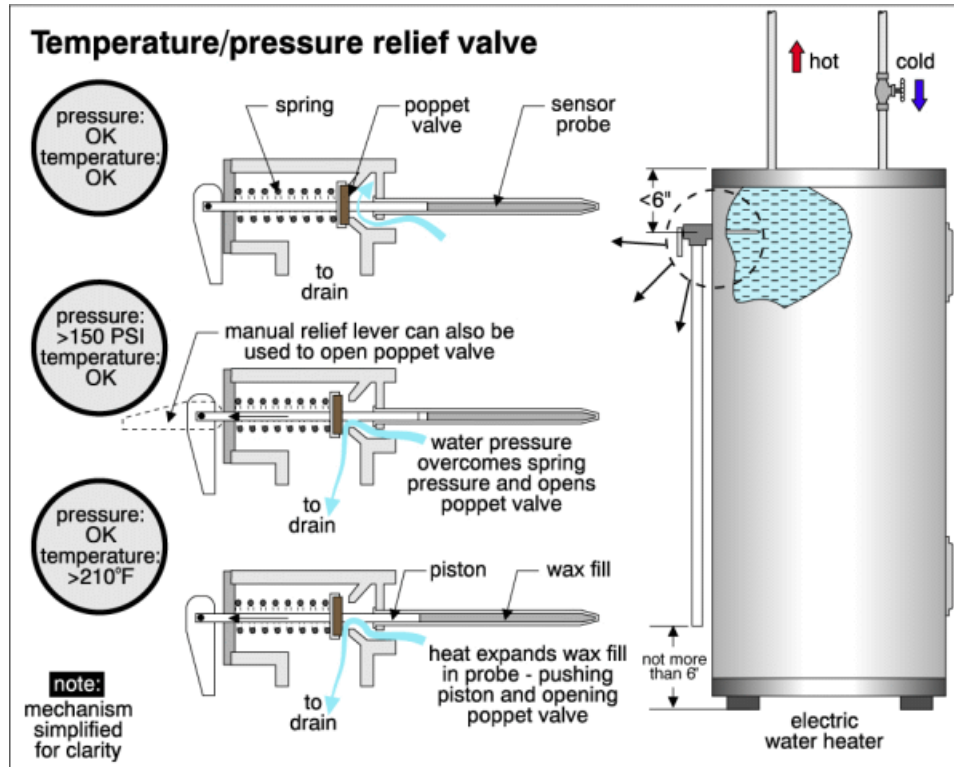
18. Condition: • [Discharge tube missing](#)

Implication(s): Scalding

Location: Utility room

Task: Provide

Time: As soon as practical



Discharge tube missing

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Inspection Method and Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Not included as part of a building inspection:

- Washing machine connections
- Not readily accessible interiors of vent systems, flues, and chimneys
- Landscape irrigation systems



Landscape irrigation systems

General Info and Descriptions

General:

- Water Meter outside front lawn



Water Meter outside front lawn



Water Meter outside front lawn

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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- ****NOTE: Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.
- Whirlpool bath was functional



Whirlpool bath was functional

Water supply source (based on observed evidence): • Public

Service piping into building: • [Copper](#)

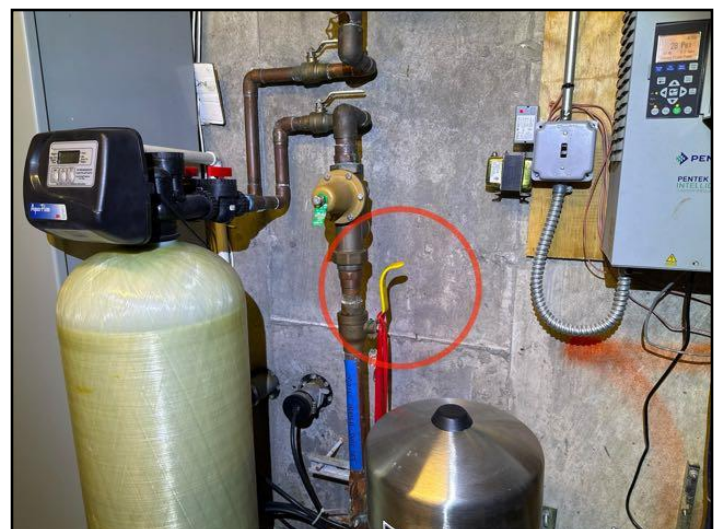
Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene) • [Not visible](#)

Main water shut off valve at the:

- Basement



Basement



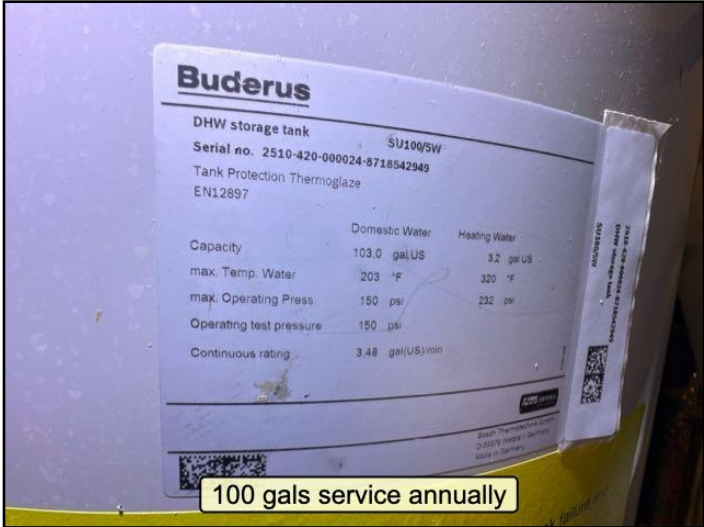
Basement

Water heater type:

- Storage tank



Buderus water storage tank



100 gals service annually

Storage tank

Storage tank

Water heater location: • Basement

Water heater fuel/energy source: • Propane

Water heater exhaust venting method: • Direct vent - sealed combustion

Water heater manufacturer:

- A.O. Smith



AO Smith water heater approximately 6 years old



Service annually

A.O. Smith

A.O. Smith

Water heater tank capacity: • 50 gallons • [100 gallons](#)

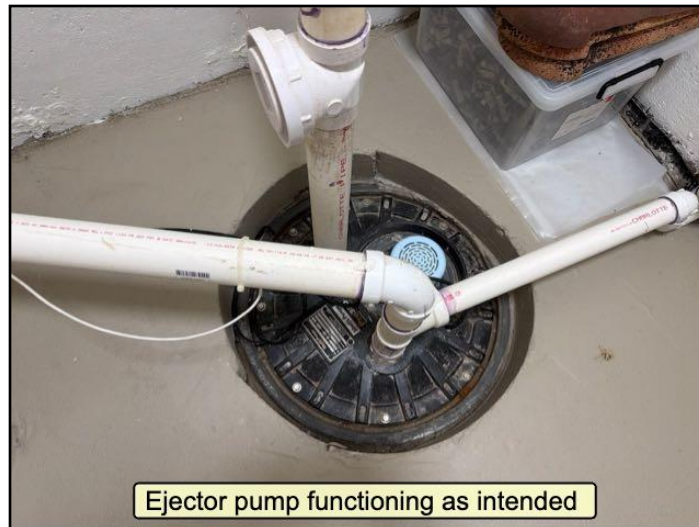
Water heater approximate age: • 2 years

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Sewer cleanout location: • Basement

Pumps:

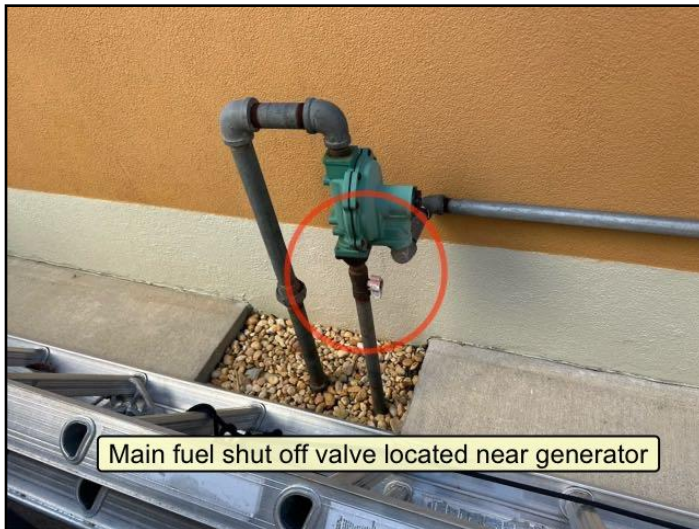
- [Solid waste pump \(ejector pump\)](#)



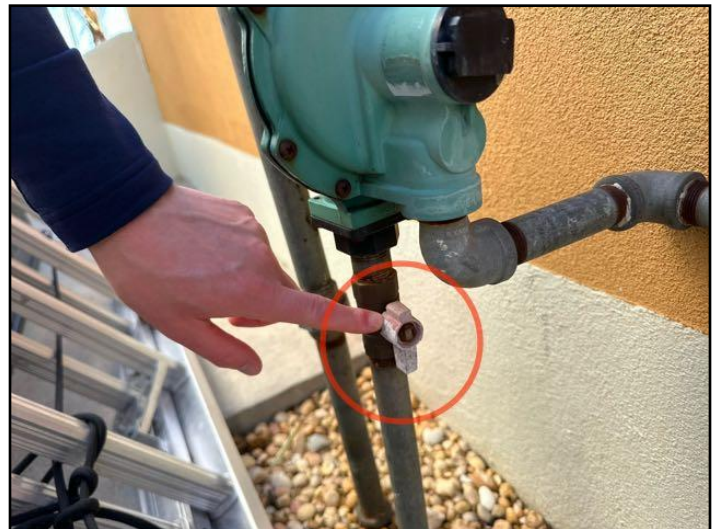
Solid waste pump (ejector pump)

Main gas shut off valve location:

- Exterior



Exterior



Exterior

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Observation and Recommendations

RECOMMENDATIONS \ General

19. Condition: • ****NOTE: The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

KEY AREAS OF LIMITED TESTING:

MECHANICAL & HVAC SYSTEMS : Includes the Geothermal HVAC units. The inspector did not personally cycle these systems or verify thermostat calibration and response. Operated by the home owner only.

PLUMBING & APPLIANCES : All fixtures and built-in appliances were operated solely by the owner. Response to typical "hand-feel" defects or intermittent operational issues was not verified by the inspector.

POOL / SPA EQUIPMENT: High-value hydraulic and heating components were owner-operated. Performance under sustained load and underground piping integrity remains unverified.

WINDOWS: Access and operational testing were restricted; less than 10% of the home's windows were opened or tested during this visit. Owner demonstrated only - inspector not allowed to operate windows

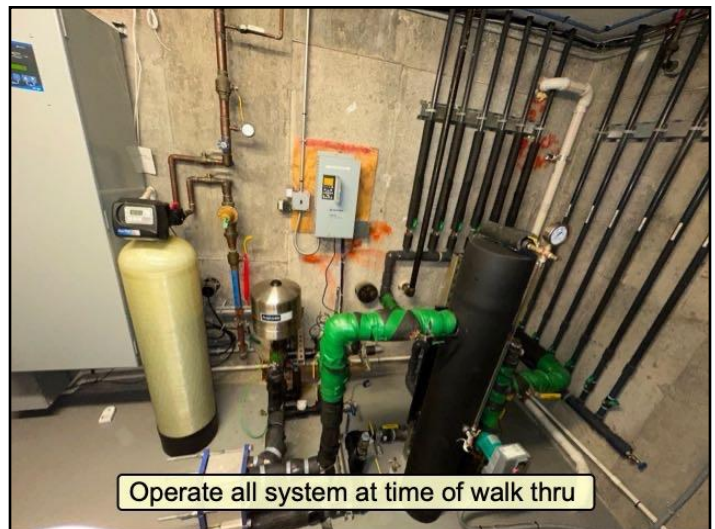
IMPLICATION & RECOMMENDATION: Because these systems were not independently tested, this report cannot confirm their full functionality, safety, or reliability. We strongly recommend the following before the expiration of your contingency period:

SPECIALIZED EVALUATION: Hire a certified Geothermal Specialist and a Licensed Pool Professional to perform comprehensive performance and pressure testing. **Buyer Walkthrough:** Personally operate every window, appliance, and plumbing fixture to ensure they meet your expectations.

SERVICE RECORDS: Request the last 3 years of maintenance logs and transferable warranty documentation for the Geothermal and Pool systems



Geothermal



Geothermal

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Inspection Method and Limitations

Inspection limited/prevented by: • Storage/furnishings

Not tested:

- Sauna



Sauna

Not included as part of a building inspection: • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos

Appliances: • Appliances are not inspected or moved as part of a building inspection

Basement leakage: • Cannot predict how often or how badly basement will leak

General Info and Descriptions

General: • Reference library is provided on last page of report. This will help in understanding how your new house functions and scheduled preventative maintenance items to consider. Any questions feel free to call anytime. Enjoy and good luck with your new home.

All the best - Rob and Chris Byrne 516-509-9091

Higher Elevation Home Inspections LLC

Major floor finishes: • [Hardwood](#) • Tile

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Glazing: • [Double](#)

Oven fuel: • Gas

Range fuel: • Propane

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Appliances: • Refrigerator • Range hood • Dishwasher • Range • Wine Cooler • Coffee machine • Steam oven

Laundry facilities: • Washer • Dryer

Kitchen ventilation: • Range hood

Bathroom ventilation: • Exhaust fan • Window

Inventory Range: • Wolf

Inventory Dishwasher: • Miele

Inventory Refrigerator: • Sub-Zero

Inventory Microwave or Microwave/Rangehood: • Wolf

Inventory Washing Machine: • Electrolux

Inventory Dryer: • Electrolux

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General Info and Descriptions

General:

- General view of pool and equipment



General view of pool and equipment



General view of pool and equipment



General view of pool and equipment



General view of pool and equipment

- Inspection of pool and equipment was only visual. Recommend sperate pool inspection to determine condition of pool, equipment and power source near pool equipment.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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END OF REPORT

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Wood Destroying Insect Inspection ReportNotice: Please read important consumer information on **page 2****Section I. General Information**

Inspection Company, Address & Phone

Higher Elevation LLC

188 Brown St

Sea Cliff, NY 11579

(516) 509-9091

Company's Pest Control Business Lic. No.

Date of Inspection

Address of Property Inspected

Inspector's Name, Signature & Certification, Registration, or Lic. #

Robert Byrne

T1906779

Robert Byrne

Structure(s) Inspected

HOUSE

Section II. Inspection Findings This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or wood destroying insect damage. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

☒ **A. No visible** evidence of wood destroying insects was observed

☐ **B. Visible** evidence of wood destroying insects was observed as follows:

☐ 1. Live insects (description and location):

☐ 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location):

☐ 3. **Visible** damage from wood destroying insects was noted as follows (description and location):

NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

Section III. Recommendations
☒ No action and/or treatment recommended: (Explain if Box B in Section II is checked):

☐ Recommend treatment for the control of:
Section IV. Obstructions and Inaccessible Areas

The following areas of the structure(s) inspected were obstructed or inaccessible:

☒ Basement: FINISHED WALLS AND CEILINGS; FURNITURE/ STORAGE

☐ Crawlspace:

☒ Main Level: FINISHED WALLS, FLOORS AND CEILINGS; FURNITURE

☒ Attic: INSULATION; FLOORING; LIMITED ACCESS

☒ Garage: FINISHED WALLS AND CEILINGS; CARS/ STORAGE

☒ Exterior: EXTERIOR SIDING

☐ Porch:

☐ Addition:

☐ Other:

The inspector may write out obstructions or use the following optional key:

- | | |
|-------------------------|--|
| 1. Fixed ceiling | 15. Standing water |
| 2. Suspended ceiling | 16. Dense vegetation |
| 3. Fixed wall covering | 17. Exterior siding |
| 4. Floor covering | 18. Window well covers |
| 5. Insulation | 19. Wood pile |
| 6. Cabinets or shelving | 20. Snow |
| 7. Stored items | 21. Unsafe conditions |
| 8. Furnishings | 22. Rigid foam board |
| 9. Appliances | 23. Synthetic stucco |
| 10. No access or entry | 24. Duct work, plumbing, and/or wiring |
| 11. Limited access | 25. Spray foam insulation |
| 12. No access beneath | 26. Equipment |
| 13. Only visual access | |
| 14. Cluttered condition | |

Section V. Additional Comments and Attachments (these are an integral part of the report)

** RECOMMEND ANNUAL TERMITE INSPECTION **

Attachments

Signature of Seller(s) or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

Signature of Buyer. The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

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Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

1. About the Inspection: A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection.

For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms. This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.

2. Treatment Recommendation Guidelines Regarding Subterranean Termites: Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.

For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.

3. Obstructions and Inaccessible Areas: No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.

4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects. Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.

5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS