

# INSPECTION REPORT

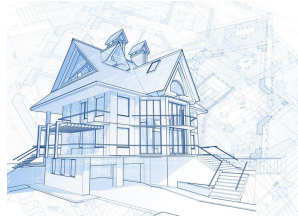


For the Property at:

[REDACTED]  
[REDACTED]

[REDACTED]  
[REDACTED]

Prepared by: Robert Byrne, License# 16000062890



Higher Elevation Home & Commercial Inspections LLC  
188 Brown Street  
Sea Cliff, NY 11579  
(516) 509- 9091



[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

Thank you for choosing HIGHER ELEVATION LLC to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thank you so very much for choosing HIGHER ELEVATION LLC to perform your home inspection.  
REFERRALS AND "REVIEWS" GREATLY APPRECIATED - [WWW.HIGHERELEVATIONLLC.COM](http://WWW.HIGHERELEVATIONLLC.COM)

Sincerely,

Robert Byrne  
on behalf of  
Higher Elevation Home & Commercial Inspections LLC

Higher Elevation Home & Commercial  
Inspections LLC  
188 Brown Street  
Sea Cliff, NY 11579  
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Higher Elevation LLC would like to thank you for choosing us to inspect your future home. Please note that every house needs annual maintenance. It is recommended the home owner budget for repair and maintenance of heating / cooling systems, plumbing, electric and site drainage (roof and gutters). The BLUE HYPER LINKS in your report will help with information about your home. Please note any recommended repairs should be done by a licensed and insured professional. Included on the last page of the report is a REFERENCE LIBRARY - PDF to help you understand your new house.

All the best

Rob Byrne - Owner / Operator

[Priority Maintenance Items](#)

## Heating

### GAS HOT WATER \ \*Life expectancy\*

**Condition:** • Past life expectancy

Boilers are 28 years old and past their life expectancies

Recommend having boilers serviced and budget for replacement when necessary

**Task:** Replace

**Time:** When necessary

## Cooling & Heat Pump

### AIR CONDITIONING \ Life expectancy

**Condition:** • Past life expectancy

Cooling systems are old and past their life expectancies

Recommend further evaluation by a licensed HVAC technician for repair and replacement quotes

**Implication(s):** Equipment failure | Reduced comfort

**Task:** Further evaluation

**Time:** Prior to contract signing

## Plumbing

### RECOMMENDATIONS \ General

**Condition:** • Scope main sewer line

RECOMMEND HAVING MAIN SEWER LINE SCOPED TO DETERMINE CONDITION OF LINE PRIOR TO CONTRACT SIGNING.

\_\*\*\_ADD SEWER LINE AND WATER MAIN INSURANCE THRU WATER COMPANY \*\*\_!!!!!!

**Time:** Prior to signing contract

### WATER HEATER \ Tank

**Condition:** • [Leak](#)

Water heater leaking

**Implication(s):** Chance of water damage to structure, finishes and contents

**Location:** Basement

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**Task:** Repair or replace

## Interior

### **POTENTIALLY HAZARDOUS MATERIALS \ General notes**

**Condition:** • Possible asbestos containing materials

Asbestos is a fibrous material that was used in many building materials as a fire resistant material, a binder, and a thermal insulator. The very small asbestos fibers can cause cancer and other types of lung disease if inhaled. Demolition or renovation work can disturb asbestos-containing materials, causing the asbestos fibers to be released into the air. Various heating pipes have possible asbestos contain material. Corrective actions related to asbestos should not be undertaken by the property owner, as a general rule. Recommend further evaluation by a licensed environmental specialist company to provide cost of removal.

**Implication(s):** Health hazard**Location:** Basement/ Attic

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document. This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

## Observation and Recommendations

### RECOMMENDATIONS \ Overview

**1. Condition:** • Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

**2. Condition:** • Flat roof drainage needs to be improved



### FLAT ROOFING \ General notes

**3. Condition:** • Not visible

Flat roof not visible due to snow, ice and gravel



Not visible



Not visible

#### 4. Condition: • Prior repairs to flat roof



## Inspection Method and Limitations

**General:** • Age of roof cannot always be determined due to certain roofing materials and conditions. Leaks in roof may not appear at time of inspection and sometimes develop due to severe weather condition after inspection. We cannot predict when or if a roof might leak in the future.

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## Observation and Recommendations

### RECOMMENDATIONS | Overview

**5. Condition:** • Gutters and downspouts help to ensure dry basements and crawlspaces. The less water near the foundation, the lower the risk of water penetration into basement.

**6. Condition:** • \*\*\*\*NOTE: The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility. Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

### EXTERIOR WINDOWS | Glass

**7. Condition:** • [Cracked](#)

Various windows chipped/ cracked

**Location:** Various

**Task:** Repair or replace

**Time:** As soon as practical



Cracked



Cracked

**8. Condition:** • [Missing](#)

**Implication(s):** Chance of water entering building | Chance of pests entering building | Increased heating and cooling costs | Reduced comfort

**Location:** Right Side

**Task:** Repair

**Time:** As soon as practical

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Missing

**9. Condition:** • Caulking deteriorated on various windows

Repair and maintain

**Location:** Various

**Task:** Improve

**Time:** As soon as practical



**PORCHES, DECKS, STAIRS, PATIOS \ \*Stairs and landings\***

**10. Condition:** • [Masonry or concrete cracking](#)

Stairs and walls cracking- Right side entry

**Implication(s):** Weakened structure

**Location:** Right Side Entry

**Task:** Repair

**Time:** As soon as practical

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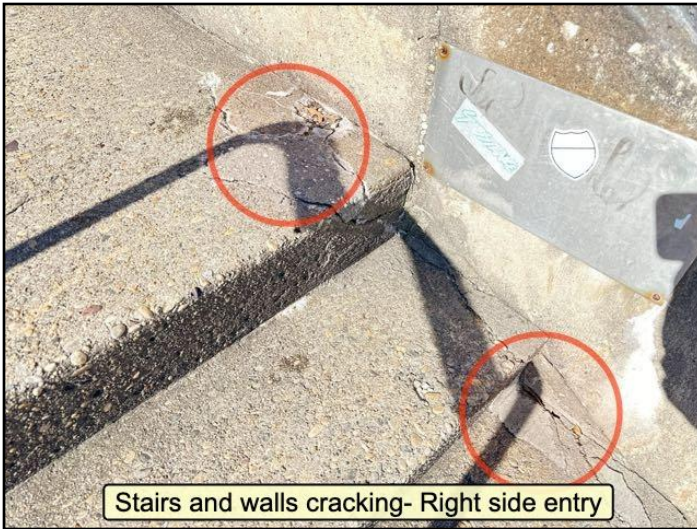
COOLING

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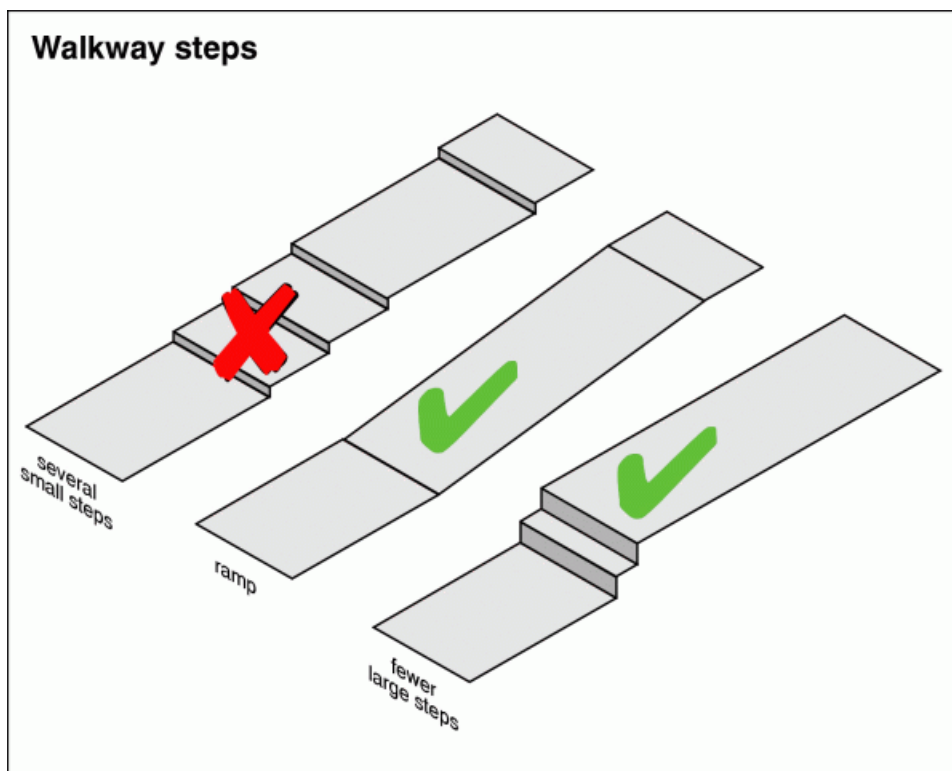
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*Masonry or concrete cracking**Masonry or concrete cracking***11. Condition:** • Trip hazard

Rear steps are a trip hazard

**Implication(s):** Trip or fall hazard**Location:** Rear

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*Trip hazard***PORCHES, DECKS, STAIRS, PATIOS \ \*Handrails and guards\*****12. Condition:** • [Missing](#)

Rear steps missing handrails

**Implication(s):** Fall hazard**Location:** Rear**Task:** Provide**Time:** As soon as practical*Missing***LANDSCAPING \ #General notes****13. Condition:** • Trees or shrubs too close to building

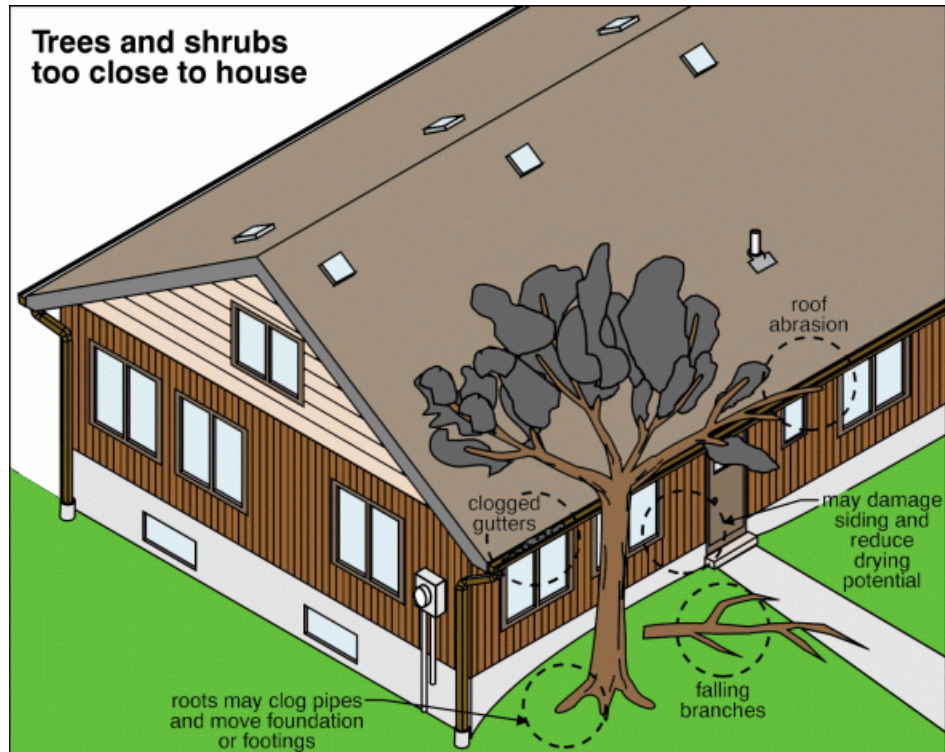
Trim all trees and shrubs away from building

**Implication(s):** Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

**Location:** Front

**Task:** Improve

**Time:** As soon as practical



*Trees or shrubs too close to building*

**14. Condition:** • Keep outside drains clear of debris to prevent water from entering house. Keep all exterior drains clear of debris

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Keep outside drains clear of debris to...



Keep outside drains clear of debris to...

#### LANDSCAPING \ #Walkway

**15. Condition:** • Uneven (trip hazard)

Front walkway cracked

Various sections of sidewalk cracked and uneven

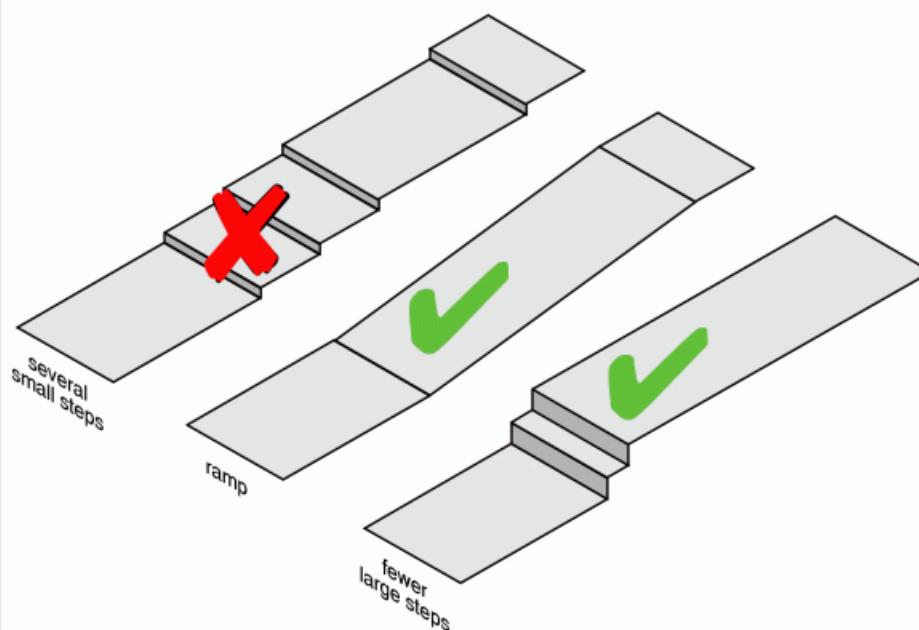
**Implication(s):** Physical injury

**Location:** Front

**Task:** Repair

**Time:** As soon as practical

#### **Walkway steps**





Front walkway cracked

Uneven (trip hazard)



Various sections of sidewalk cracked and uneven

Uneven (trip hazard)

## 16. Condition: • Settlement

Rear walkway behind bank settled and cracked



Rear walkway behind bank settled and cracked

Settlement



Settlement

## LANDSCAPING \ #Driveway

### 17. Condition: • [Cracked or damaged surfaces](#)

Seal parking lot and repave to prevent further damage

Implication(s): Trip or fall hazard

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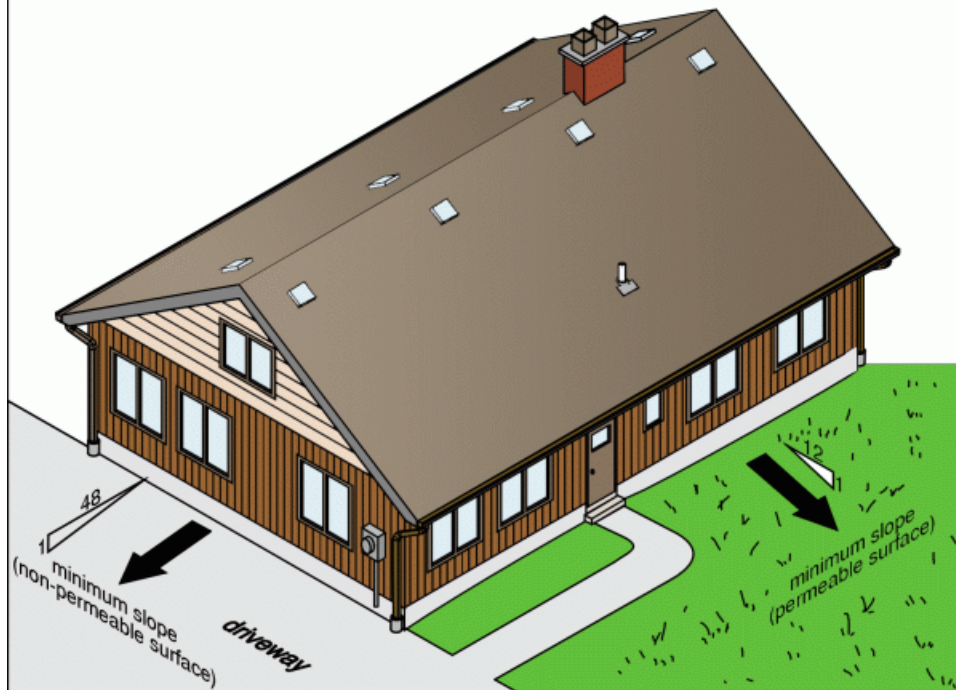
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*Cracked or damaged surfaces**Cracked or damaged surfaces***18. Condition:** • [Improper slope or drainage](#)

Sections of parking lot drainage need to be improved

**Implication(s):** Chance of water damage to structure, finishes and contents

**Recommended grading slopes**

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Sections of parking lot drainage need to be improved

*Improper slope or drainage*

#### **COMMENTS \ Additional**

**19. Condition:** • See Home Reference Library on last page of report for more information and understanding of your new house.

**20. Condition:** • Photos are only a representative sample of condition observed. There may be other areas of concern not shown by photo but stated in the report as a recommendation.

### Inspection Method and Limitations

#### **Inspection limited/prevented by:**

- Snow / ice / frost

Snow limited viewing of parking lot/ drive thru



Snow limited viewing of parking lot/ drive thru



Snow / ice / frost

Snow / ice / frost

|           |         |          |           |            |         |         |          |          |          |
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No or limited access to: • No access to exterior structure



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## Observation and Recommendations

### RECOMMENDATIONS \ General

**21. Condition:** • Seal and improve all exposed metal rebar and steel



## Inspection Method and Limitations

**General:** • Please note that an inspection is not a guarantee that you do not have termites or damage in visually inaccessible areas, such as inside walls or behind finished basement surfaces. Recommend an annual Termite and/or Carpenter Ant inspection.

**Inspection limited/prevented by:**

- Basement walls and ceilings limited inspection of foundation and framing
- Walls and ceilings limited viewing of foundation and structure

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*Basement finished walls and ceilings*

- Finished living space unable to do a visual inspection.
- Ceiling, wall and floor coverings
- Carpet/furnishings

**Not included as part of inspection:** • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components

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## Observation and Recommendations

### RECOMMENDATIONS \ General

**22. Condition:** • Old Federal Pacific electrical panels further evaluation recommended



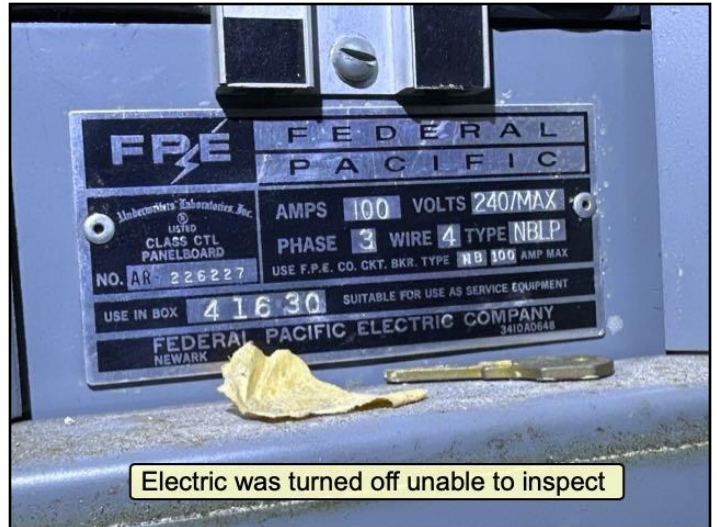
Old Federal Pacific electrical panels further evaluation recommended



Multiple Federal Pacific panels in use



Have licensed electrician further evaluate panels



Electric was turned off unable to inspect

### DISTRIBUTION \ Outdoor wiring (wires)

**23. Condition:** • damaged / rusted conduit

Conduit to electrical panel rusted in need of replacement

**Location:** Basement

**Task:** Replace

**Time:** As soon as practical

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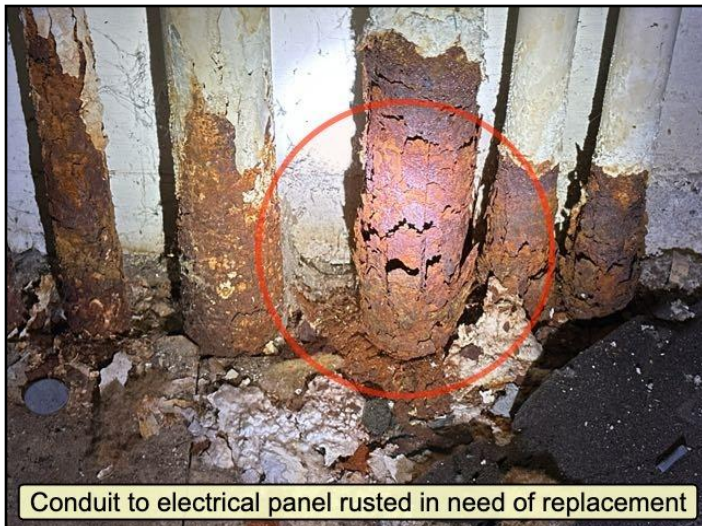
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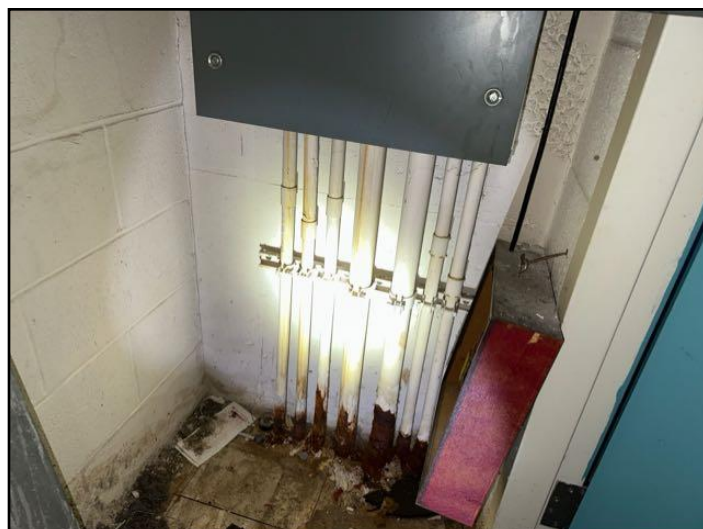
Conduit to electrical panel rusted in need of replacement

*damaged / rusted conduit*

Electrical conduits in basement in need of replacement

*damaged / rusted conduit*

Have licensed electrician further evaluate damaged conduits

*damaged / rusted conduit**damaged / rusted conduit***COMMENTS \ Additional**

**24. Condition:** • See Home Reference Book located on last page of report for additional information and understanding of the systems in your home.

**Inspection Method and Limitations****Inspection limited/prevented by:**

- Power was off
- Electric to building was off at time of inspection no power

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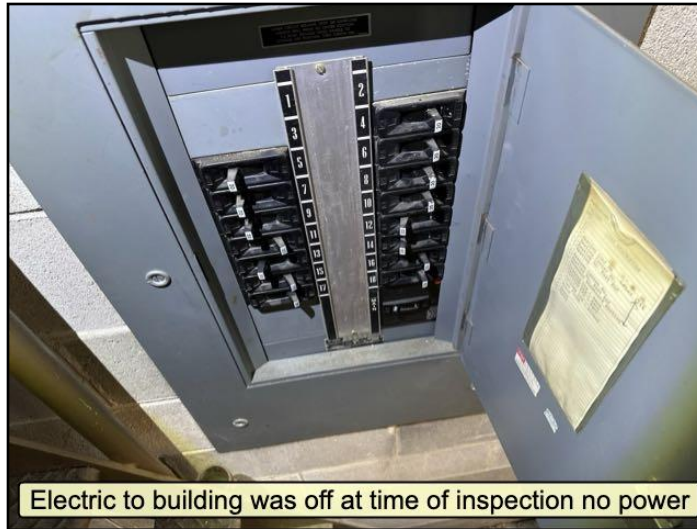
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*Power was off*

- Power was off

Power was shut off at time of inspection



*Power was off*



*Power was off*

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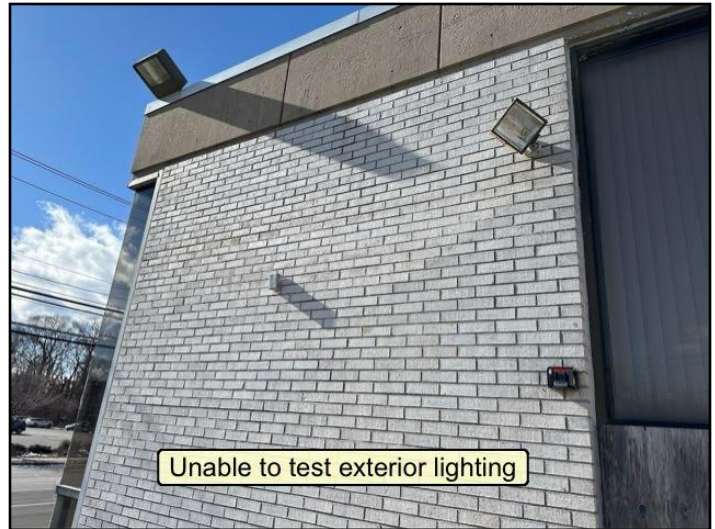
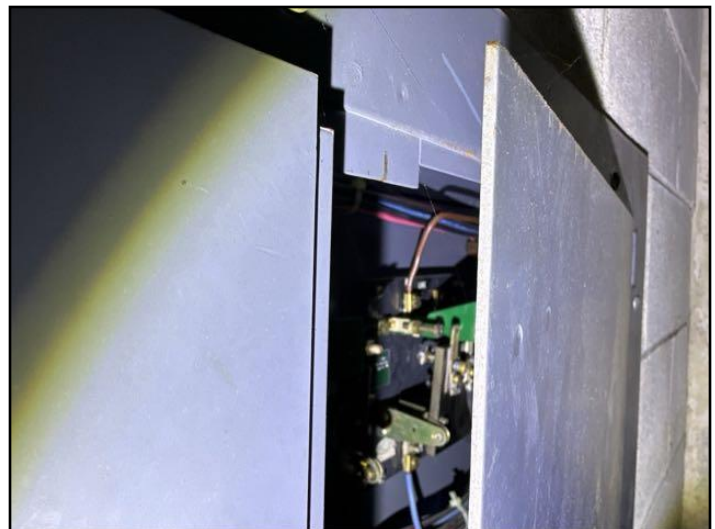
COOLING

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*Power was off**Power was off***Inspection limited/prevented by:** • No access to electrical control panel in stairwell

## General Info and Descriptions

**General:** • More than 25% of all Smoke and Carbon Monoxide detectors do not operate properly. Recommend any Smoke and Carbon Monoxide detectors that are over 10 years old or have damaged test buttons be replaced immediately.

**Type and number of outlets (receptacles):** • Grounded and ungrounded - typical • Ground Fault outlets (GFCI) and/or breakers are required for safety, in all interior and exterior areas, where water will be in contact with an electrical power source. Ground fault circuit interrupter (GFCI) devices should be tested periodically to ensure they remain in proper working condition.

|           |         |          |           |            |         |         |          |          |          |
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**Smoke alarms (detectors):** • Recommend replacing prior to moving in

**Carbon monoxide (CO) alarms (detectors):** • Recommend replacing prior to moving in

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## Observation and Recommendations

### RECOMMENDATIONS \ General

**25. Condition:** • Recommend an annual service contract with a licensed heating contractor.  
Recommend an annual service by a licensed HVAC technician



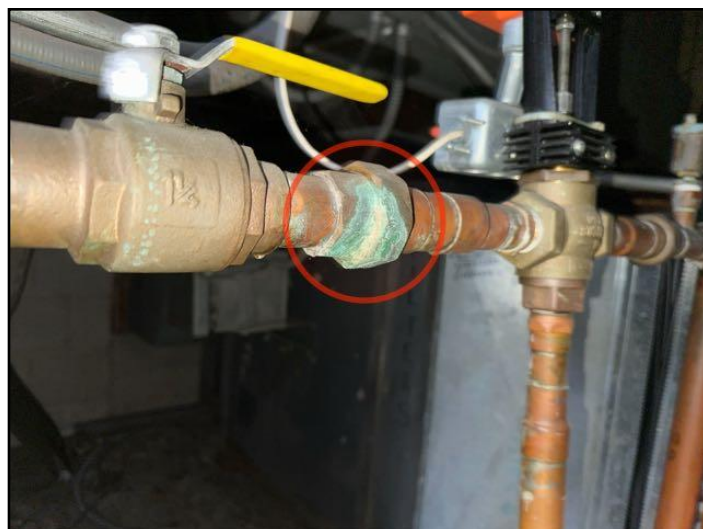
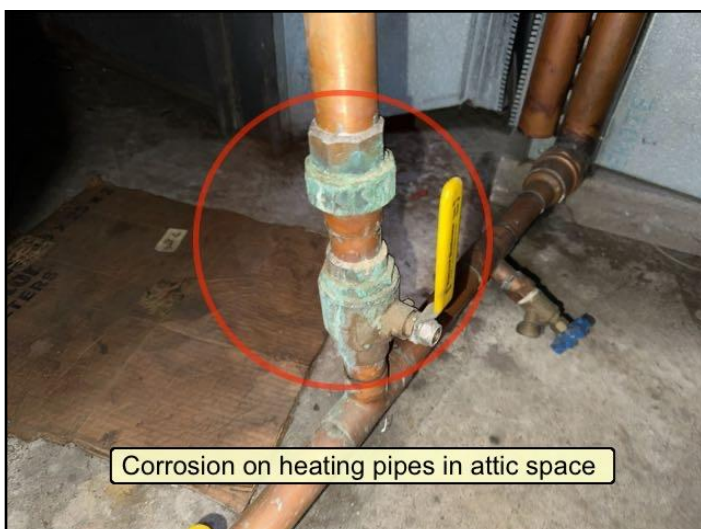
*Recommend an annual service contract with a...*

**26. Condition:** • Corrosion on heating pipes in attic space

**Location:** Attic

**Task:** Repair or replace

**Time:** As soon as practical



**27. Condition:** • blank note

### GAS HOT WATER \ \*Life expectancy\*

**28. Condition:** • Past life expectancy

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Boilers are 28 years old and past their life expectancies

Recommend having boilers serviced and budget for replacement when necessary

**Task:** Replace

**Time:** When necessary

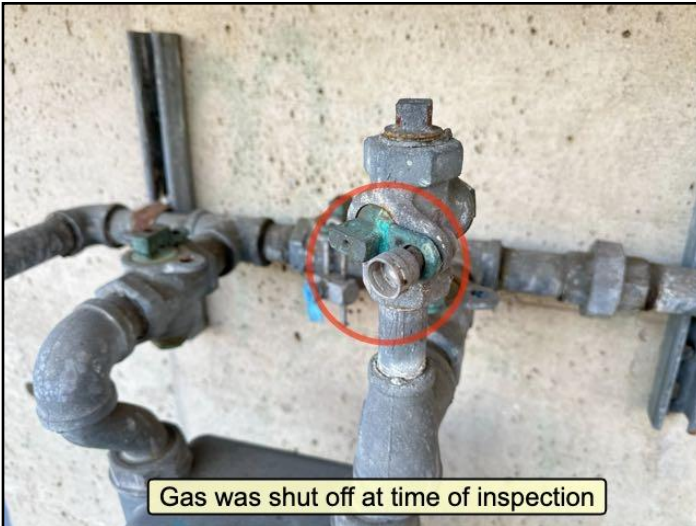
## Inspection Method and Limitations

**General:** • Older houses with a masonry chimney need to be visually inspected by a professional chimney sweep to further evaluated condition of chimney prior to closing.

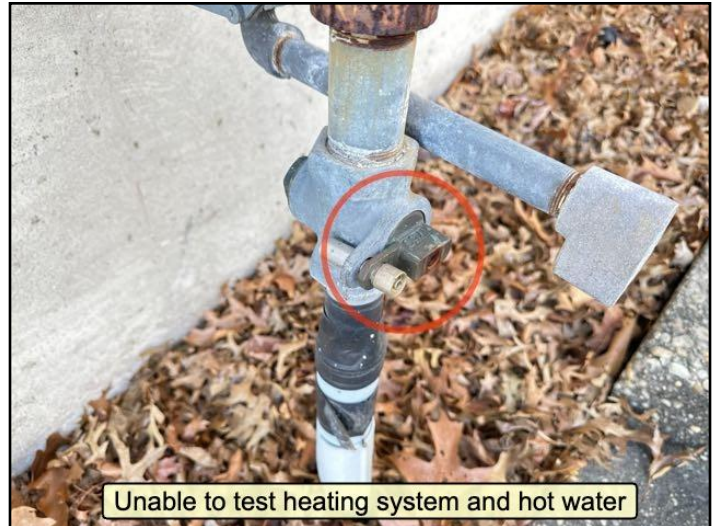
**Inspection prevented/limited by:**

- Gas was shut off at time when inspection.
- Gas was shut off at time of inspection

Unable to test heating system and hot water



Gas was shut off at time of inspection



Unable to test heating system and hot water

Gas was shut off at time when inspection.

Gas was shut off at time when inspection.

**Inspection prevented/limited by:** • Unable to test heating system at time of inspection

Electric and gas were shut off

**Not included as part of a building inspection:** • Interiors of vent systems, flues, and chimneys

## General Info and Descriptions

**General:** • \*\*\*\*NOTE: The heating and cooling system of this home was inspected and reported on with the information below. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or

The uniformity or adequacy of heat supply to the various rooms.

Providing great inspections for every client every time

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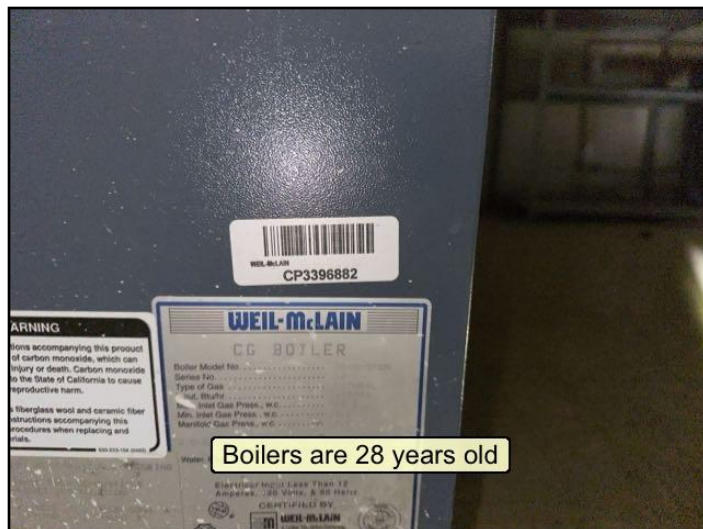
REFERENCE

**Fuel/energy source:** • [Gas](#)**Boiler manufacturer:**

• Weil McLain



Weil McLain



Weil McLain



Weil McLain



Weil McLain

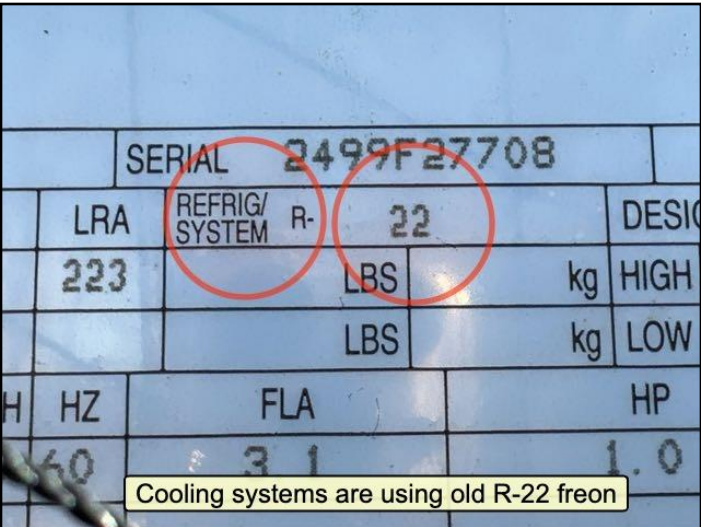
**Heat distribution:** • [Baseboards](#)**Exhaust venting method:** • [Natural draft](#)**Approximate age:** • [28 years](#)**Main fuel shut off at:** • Meter**Chimney/vent:** • Sidewall venting

|           |         |          |           |            |         |         |          |          |          |
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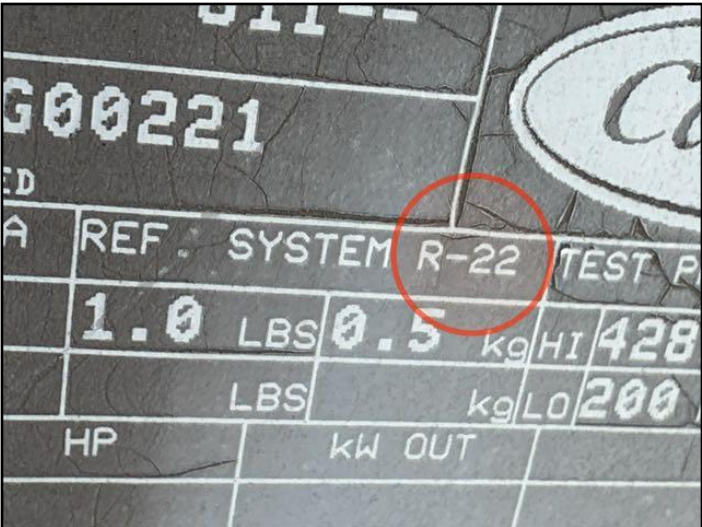
Observation and Recommendations

RECOMMENDATIONS | General

**29. Condition:** • AC is old using R-22 freon in system. This freon will not be available in the near future and is very expensive. Budget for replacement of AC unit when needed.  
Cooling systems are using old R-22 freon  
**Task:** Budget for replacement



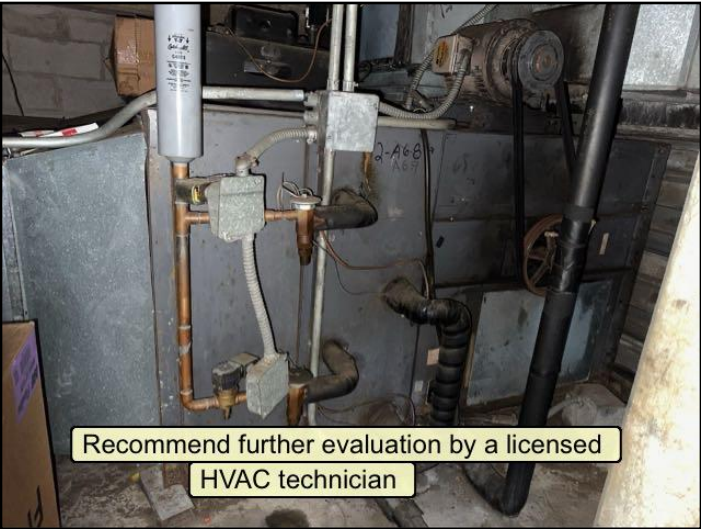
AC is old using R-22 freon in system. This...



AC is old using R-22 freon in system. This...

RECOMMENDATIONS | Overview

**30. Condition:** • Recommend further evaluation by a licensed HVAC technician  
**Time:** Prior to signing contract



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**AIR CONDITIONING \ Life expectancy****31. Condition:** • Past life expectancy

Cooling systems are old and past their life expectancies

Recommend further evaluation by a licensed HVAC technician for repair and replacement quotes

**Implication(s):** Equipment failure | Reduced comfort

**Task:** Further evaluation

**Time:** Prior to contract signing



*Past life expectancy*

**AIR CONDITIONING \ Compressor****32. Condition:** • Rust

Condensing unit rusted

**Task:** Replace

**Time:** If/ when necessary



*Rust*

## AIR CONDITIONING \ Refrigerant lines

### 33. Condition: • Insulation - missing

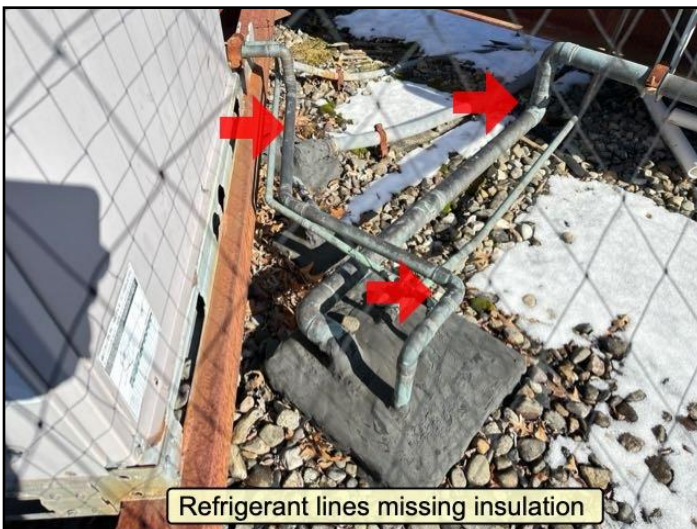
The larger low pressure suction line requires insulation to protect it from condensation. Without insulation around this line, thermal energy is lost and condensation forms, which can both lower efficiency and cause moisture damage to the unit.

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** Roof

**Task:** Improve

**Time:** As soon as practical



*Insulation - missing*



*Insulation - missing*

## AIR CONDITIONING \ Ducts, registers and grilles

### 34. Condition: • [Disconnected or leaking](#)

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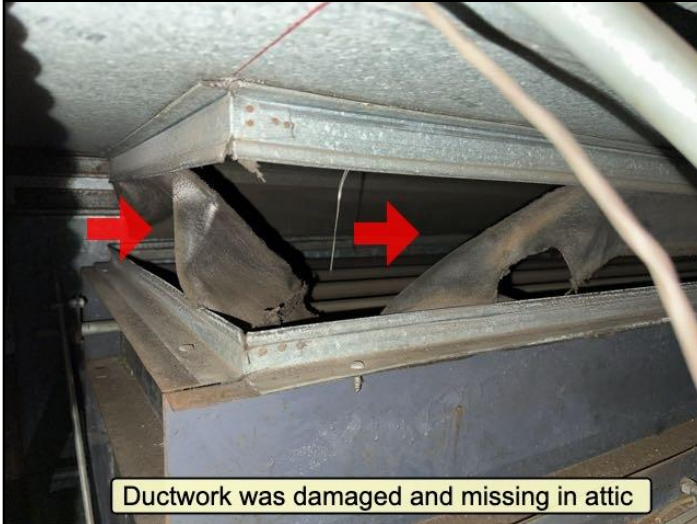
Ductwork was damaged and missing in attic

**Implication(s):** Increased cooling costs | Reduced comfort

**Location:** Attic

**Task:** Replace

**Time:** Prior to using



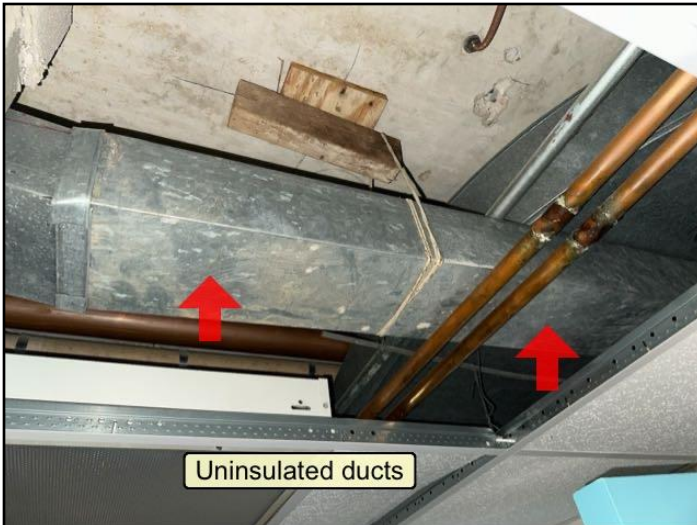
*Disconnected or leaking*



*Disconnected or leaking*

**35. Condition:** • Older uninsulated ducts

**Task:** Improve



*Older uninsulated ducts*



*Older uninsulated ducts*

Inspection Method and Limitations

Inspection limited/prevented by:

- Power turned off
- Unable to test cooling systems due to low temperatures and no power



Power turned off



Power turned off

- Cooling systems are not operated when the outdoor temperature is below 60°F

General Info and Descriptions

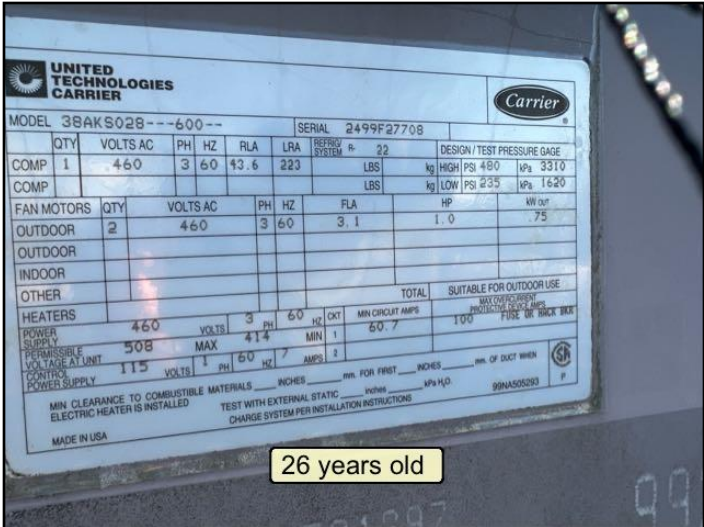
Air conditioning type: • Central • Packaged Rooftop Unit (RTU)

Manufacturer:

- Carrier



Carrier

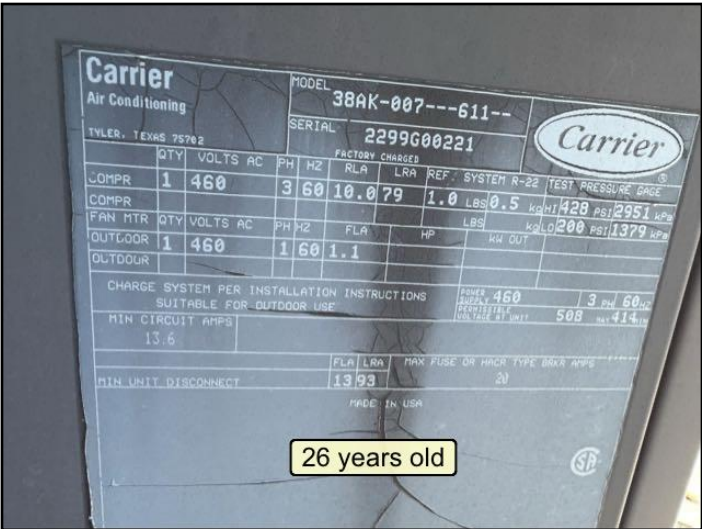


Carrier



Carrier

- Trane



Carrier



Trane



Trane

Compressor type: • Electric

Compressor approximate age: • 26 years

Refrigerant type: • R-22

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## Observation and Recommendations

### RECOMMENDATIONS \ General

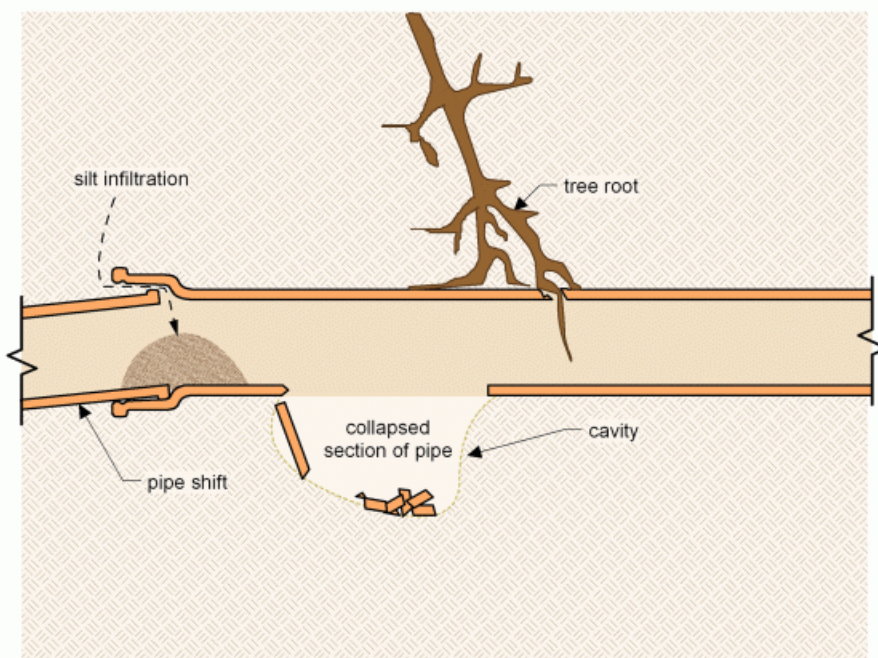
**36. Condition:** • Scope main sewer line

RECOMMEND HAVING MAIN SEWER LINE SCOPED TO DETERMINE CONDITION OF LINE PRIOR TO CONTRACT SIGNING.

\_\*\*\_ADD SEWER LINE AND WATER MAIN INSURANCE THRU WATER COMPANY \*\*\_!!!!!!!!!!!!

**Time:** Prior to signing contract

#### Old clay pipe sewer issues - shift, collapse, roots, silt



*Scope main sewer line*

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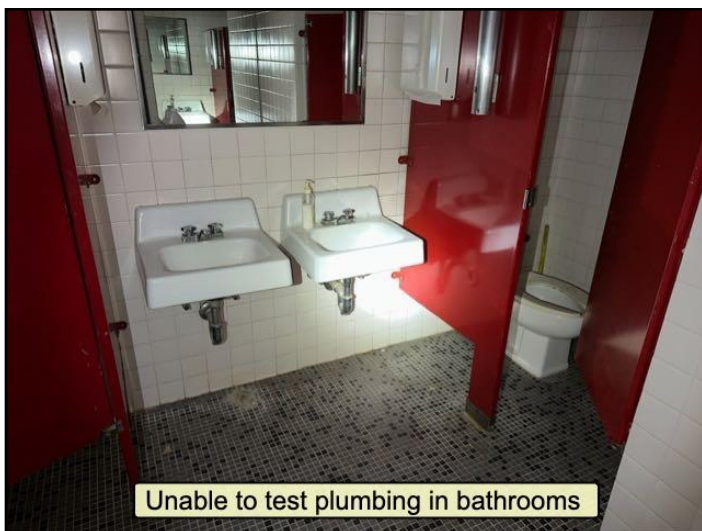
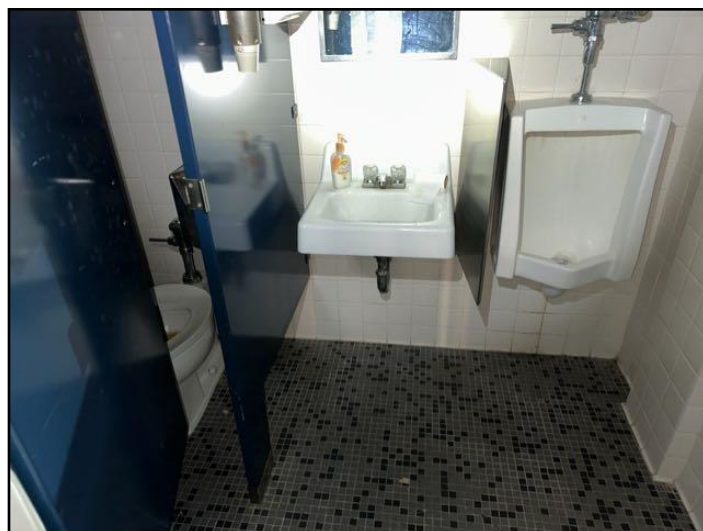
**WATER HEATER \ Tank****37. Condition:** • [Leak](#)

Water heater leaking

**Implication(s):** Chance of water damage to structure, finishes and contents**Location:** Basement**Task:** Repair or replace*Leak***Inspection Method and Limitations****Inspection limited/prevented by:**

- Water supply turned off

Unable to test plumbing in bathrooms

*Water supply turned off**Water supply turned off*

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**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

**Not included as part of a building inspection:**

- Washing machine connections
- Not readily accessible interiors of vent systems, flues, and chimneys
- Landscape irrigation systems

Irrigation system was not tested or inspected



*Landscape irrigation systems*

## General Info and Descriptions

**General:** • \*\*\*\*NOTE: Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**Water supply source (based on observed evidence):** • Public

**Service piping into building:**

- [Not visible](#)

Insulation limited viewing of water main- Not visible

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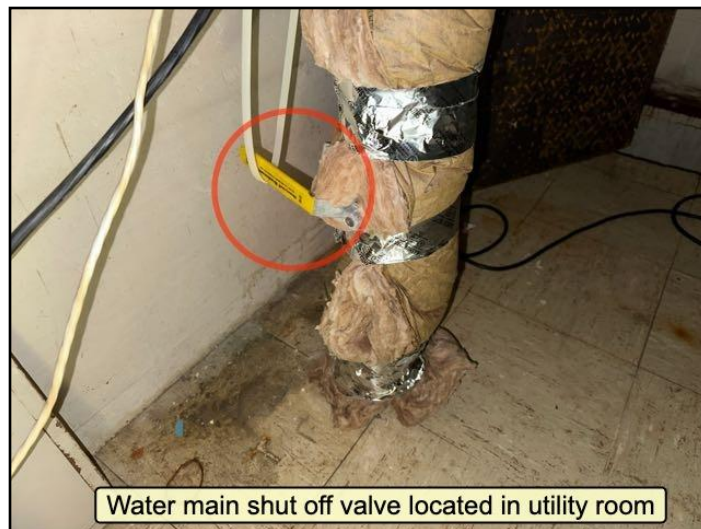


*Not visible*

Supply piping in building: • [Copper](#) • [Not visible](#)

Main water shut off valve at the:

- Utility room



*Utility room*

Water heater type: • [Conventional](#)

Water heater location: • Basement

Water heater fuel/energy source: • [Electric](#)

Water heater manufacturer:

- A.O. Smith

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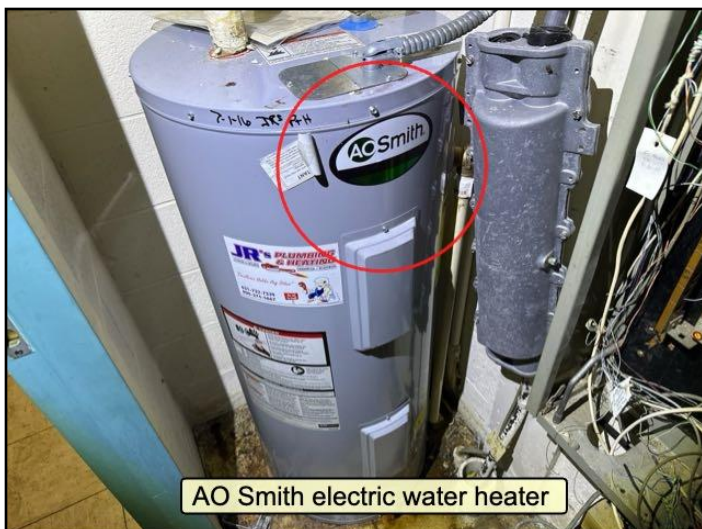
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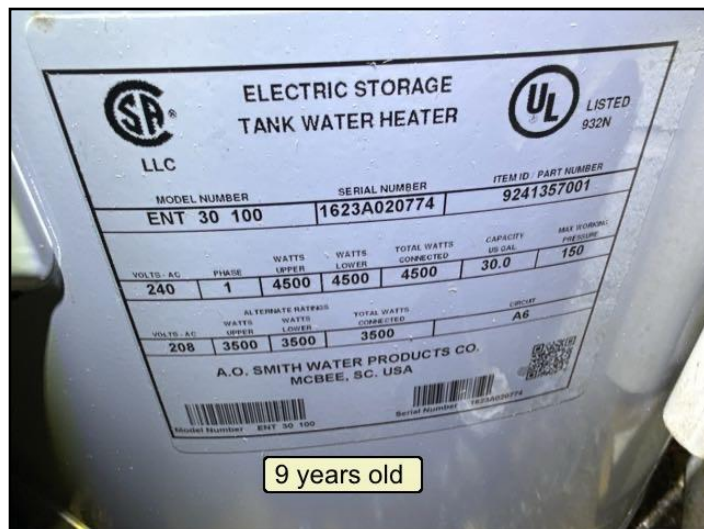
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AO Smith electric water heater



9 years old

A.O. Smith

A.O. Smith

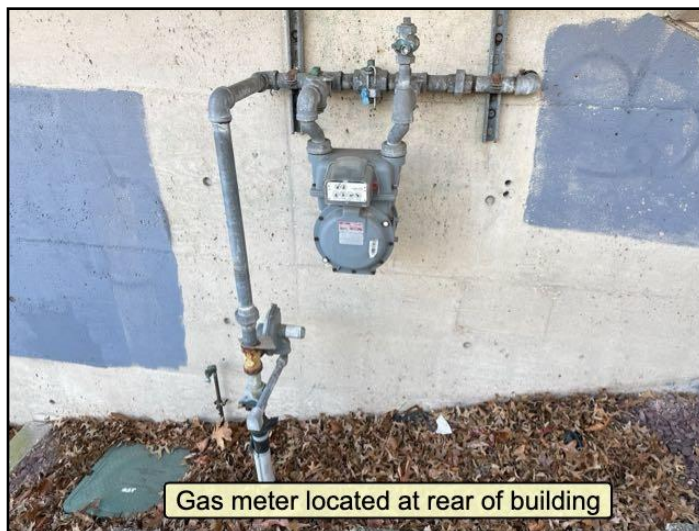
Water heater tank capacity: • [30 gallons](#)

Water heater approximate age: • 9 years

Sewer cleanout location: • Utility room

Gas meter location:

- Exterior rear



Gas meter located at rear of building

Exterior rear

Gas piping material: • Steel • Not visible

Main gas shut off valve location: • Gas meter

Exterior hose bibb (outdoor faucet): • Recommend closing water supply to outside hose bib prior to winter

## Observation and Recommendations

### RECOMMENDATIONS \ General

**38. Condition:** • \*\*\*\*NOTE: The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

### CEILINGS \ General notes

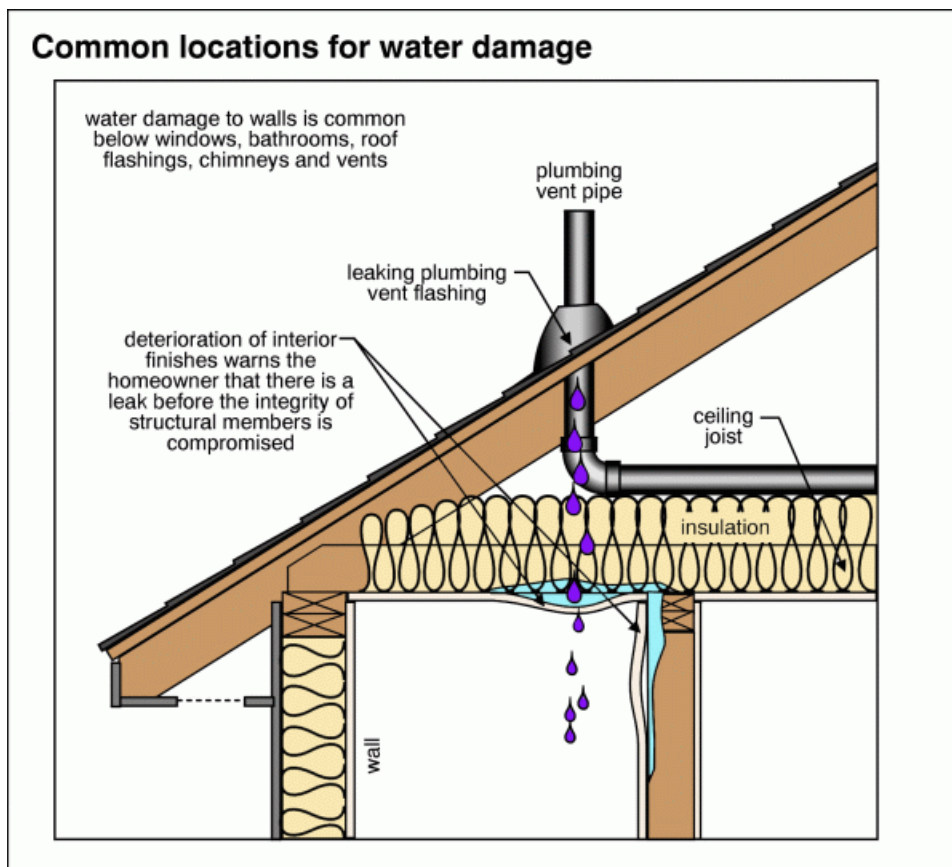
**39. Condition:** • [Water damage](#)

Roof water damaged- Evidence of roof leakage

**Implication(s):** Chance of movement | Rot | Leakage

**Task:** Repair/ replace roof

### Common locations for water damage



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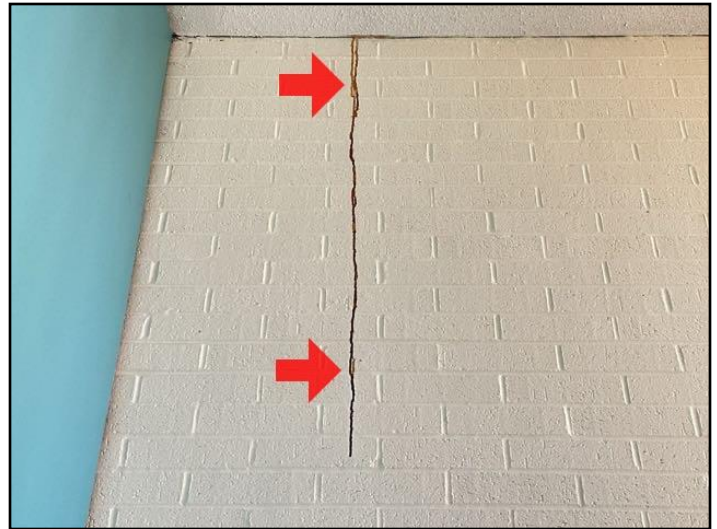
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Water damage



Water damage

## FLOORS \ General notes

**40. Condition:** • Basement floor tiles loose

**Location:** Basement

**Task:** Repair or replace



## WINDOWS \ Glass (glazing)

**41. Condition:** • [Broken](#)

Lower level window broken

**Implication(s):** Chance of water entering building | Physical injury | Increased heating and cooling costs | Reduced comfort

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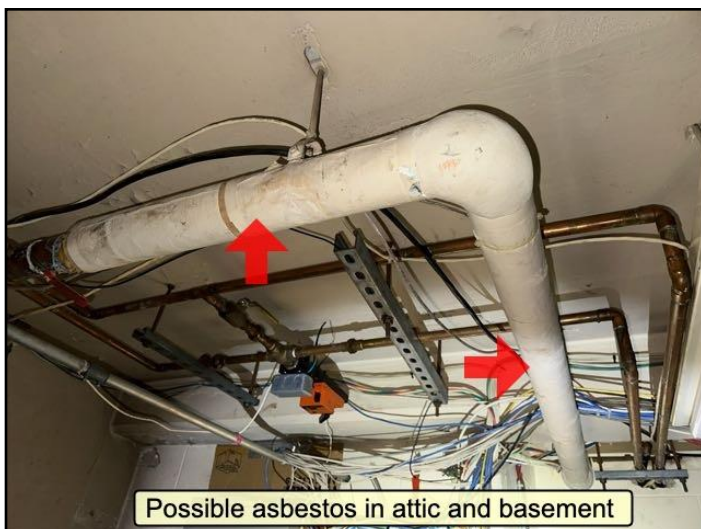
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*Broken***POTENTIALLY HAZARDOUS MATERIALS \ General notes****42. Condition:** • Possible asbestos containing materials

Asbestos is a fibrous material that was used in many building materials as a fire resistant material, a binder, and a thermal insulator. The very small asbestos fibers can cause cancer and other types of lung disease if inhaled. Demolition or renovation work can disturb asbestos-containing materials, causing the asbestos fibers to be released into the air. Various heating pipes have possible asbestos contain material. Corrective actions related to asbestos should not be undertaken by the property owner, as a general rule. Recommend further evaluation by a licensed environmental specialist company to provide cost of removal.

**Implication(s):** Health hazard**Location:** Basement/ Attic*Possible asbestos containing materials**Possible asbestos containing materials*

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## Inspection Method and Limitations

**Inspection limited/prevented by:** • Storage/furnishings

**Not included as part of a building inspection:** • Carbon monoxide alarms (detectors), security systems, central vacuum • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any • Aesthetics or quality of finishes • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Environmental issues including asbestos

**Basement leakage:** • Cannot predict how often or how badly basement will leak

## General Info and Descriptions

**General:** • Reference library is provided on last page of report. This will help in understanding how your new house functions and scheduled preventative maintenance items to consider. Any questions feel free to call anytime. Enjoy and good luck with your new home.

All the best - Rob and Chris Byrne 516-509-9091

Higher Elevation Home Inspections LLC

**END OF REPORT**

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**Wood Destroying Insect Inspection Report**Notice: Please read important consumer information on **page 2****Section I. General Information**

Inspection Company, Address &amp; Phone

**Higher Elevation LLC**

188 Brown St

Sea Cliff, NY 11579

(516) 509-9091

Company's Pest Control Business Lic. No.

Date of Inspection

Address of Property Inspected

Inspector's Name, Signature &amp; Certification, Registration, or Lic. #

Robert Byrne

T1900181

*Robert Byrne*

Structure(s) Inspected

COMMERCIAL BUILDING

**Section II. Inspection Findings** This report is indicative of the condition of the above identified structure(s) on the date of inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestations or wood destroying insect damage. **Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:**

- ☒ **A. No visible** evidence of wood destroying insects was observed  
☐ **B. Visible** evidence of wood destroying insects was observed as follows:

- ☐ 1. Live insects (description and location):  
\_\_\_\_\_  
☐ 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining (description and location):  
\_\_\_\_\_  
☐ 3. **Visible** damage from wood destroying insects was noted as follows (description and location):  
\_\_\_\_\_

**NOTE: This is not a structural damage report.** If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.

**Section III. Recommendations**☒ No action and/or treatment recommended: (Explain if Box B in Section II is checked):☐ Recommend treatment for the control of:**Section IV. Obstructions and Inaccessible Areas**

The following areas of the structure(s) inspected were obstructed or inaccessible:

- ☒ Basement: FINISHED WALLS AND CEILINGS; STORAGE  
☐ Crawlspace: \_\_\_\_\_  
☒ Main Level: FLOOR COVERINGS; STORAGE/ FURNISHINGS  
☐ Attic: \_\_\_\_\_  
☐ Garage: \_\_\_\_\_  
☒ Exterior: VEGETATION  
☐ Porch: \_\_\_\_\_  
☐ Addition: \_\_\_\_\_  
☐ Other: \_\_\_\_\_

The inspector may write out obstructions or use the following optional key:

- |                         |                                        |
|-------------------------|----------------------------------------|
| 1. Fixed ceiling        | 15. Standing water                     |
| 2. Suspended ceiling    | 16. Dense vegetation                   |
| 3. Fixed wall covering  | 17. Exterior siding                    |
| 4. Floor covering       | 18. Window well covers                 |
| 5. Insulation           | 19. Wood pile                          |
| 6. Cabinets or shelving | 20. Snow                               |
| 7. Stored items         | 21. Unsafe conditions                  |
| 8. Furnishings          | 22. Rigid foam board                   |
| 9. Appliances           | 23. Synthetic stucco                   |
| 10. No access or entry  | 24. Duct work, plumbing, and/or wiring |
| 11. Limited access      | 25. Spray foam insulation              |
| 12. No access beneath   | 26. Equipment                          |
| 13. Only visual access  |                                        |
| 14. Cluttered condition |                                        |

**Section V. Additional Comments and Attachments (these are an integral part of the report)****\*\* RECOMMEND ANNUAL TERMITE INSPECTION \*\***

Attachments

**Signature of Seller(s)** or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.

X

**Signature of Buyer.** The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reported.

X

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## Important Consumer Information Regarding the Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. Please refer to the NPMA Suggested Guidelines for instructions on completing this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

**1. About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure(s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection.

***For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms. This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. This shall not be construed as a 90-day warranty. There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.***

**2. Treatment Recommendation Guidelines Regarding Subterranean Termites:** Treatment or corrective action should be recommended if live termites are found. If no evidence of a previous treatment is documented and evidence of infestation is found, even if no live termites are observed, treatment or corrective action by a licensed pest control company should be recommended. Treatment or corrective action may be recommended if evidence of infestation is observed, and a documented treatment occurred previously, unless the structure is under warranty or covered by a service agreement with a licensed pest control company.

**For other Wood Destroying Insects, please refer to the NPMA suggested guidelines for added guidance on actions and or treatment.**

**3. Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.

**4. Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.

**5. Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS